

LYNX VENTURES

RICHMOND REGIONAL PLANNING DISTRICT

COMMISSION TI – THE CURRENT

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OWNER / CLIENT

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CONTACT: MARTHA HEETER

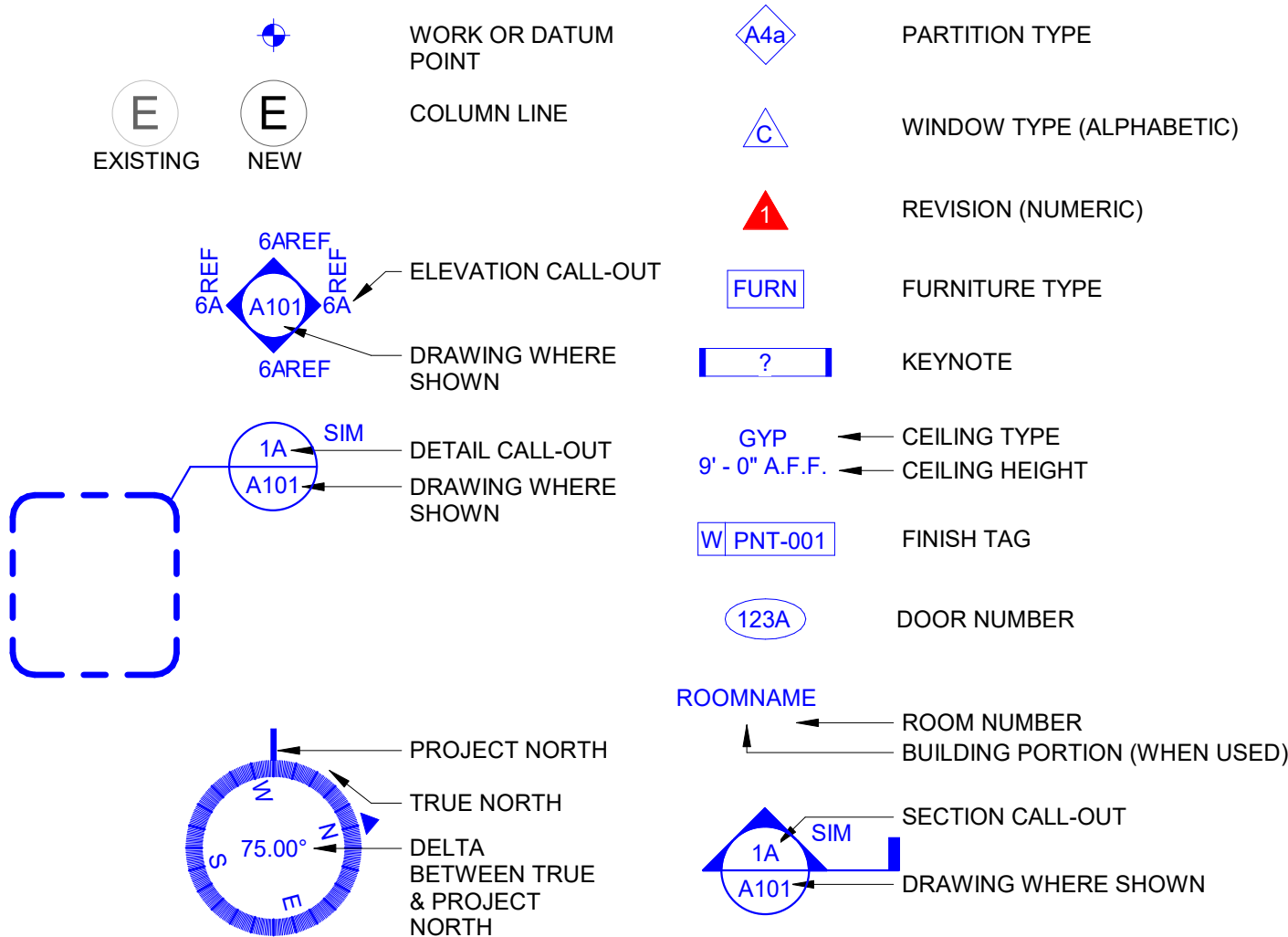
ARCHITECTURE / INTERIORS / MEP

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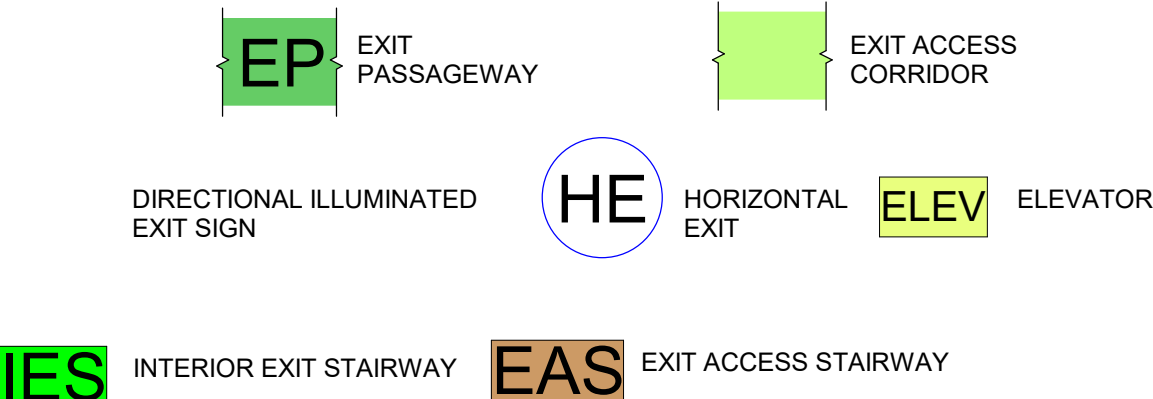
3D VIEW – MAIN ENTRY



GENERAL SYMBOLS

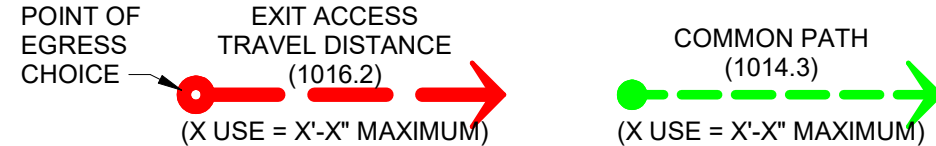


EXIT/ EGRESS SYMBOLS



TRAVEL DISTANCE LIMITATIONS (1014)

TRAVEL DISTANCE LIMITATIONS (1014)



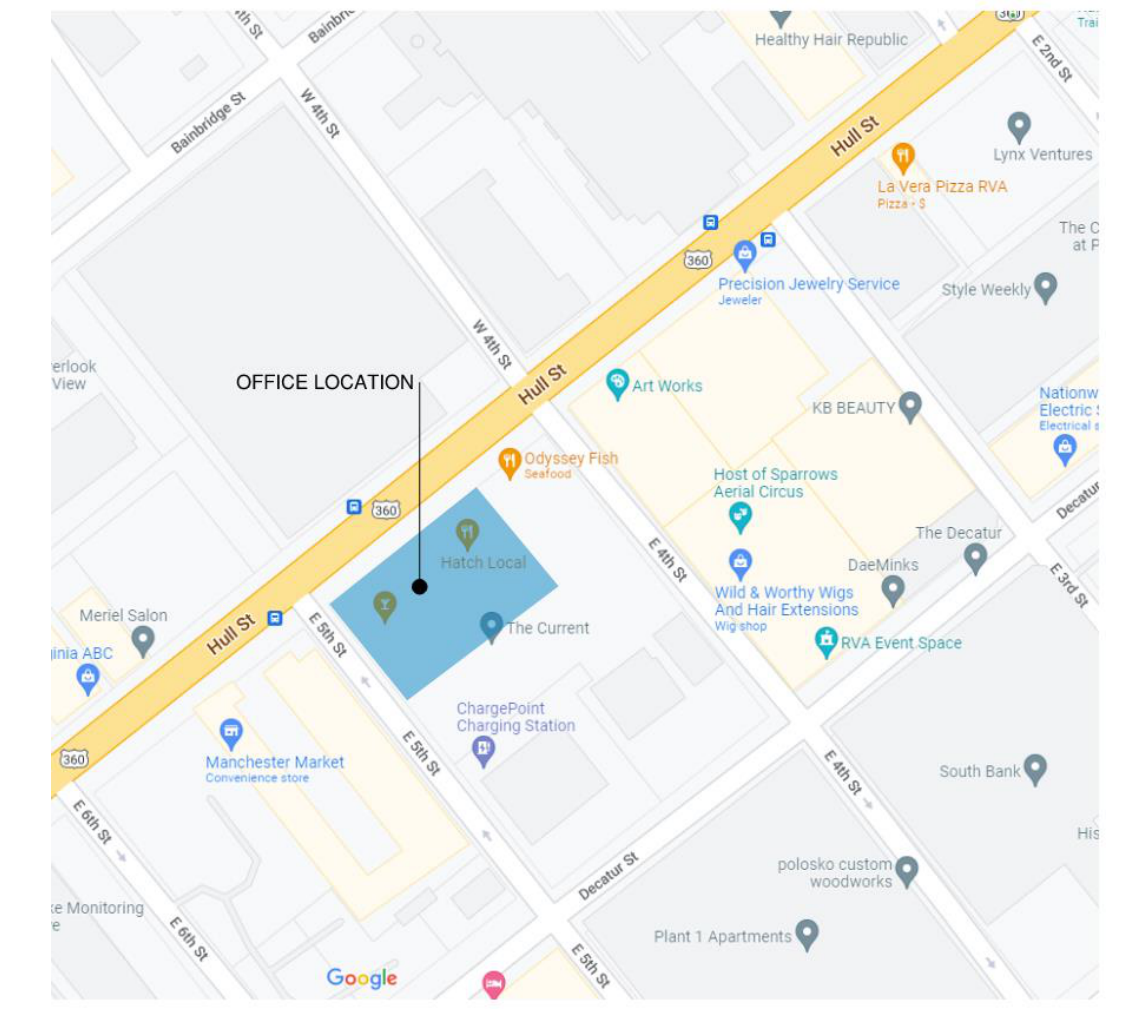
EGRESS PATH DISTANCES

	TYPE	PATH OF EGRESS
EXIT PATH 'A'	COMMON PATH OF EGRESS TRAVEL	88'-3"
EXIT ACCESS TRAVEL DISTANCE		24'-6"
EXIT PATH 'B'	COMMON PATH OF EGRESS TRAVEL	66'-9"
EXIT ACCESS TRAVEL DISTANCE		24'-0"
EXIT PATH 'C'	COMMON PATH OF EGRESS TRAVEL	110'-8"
EXIT ACCESS TRAVEL DISTANCE		9'-1"

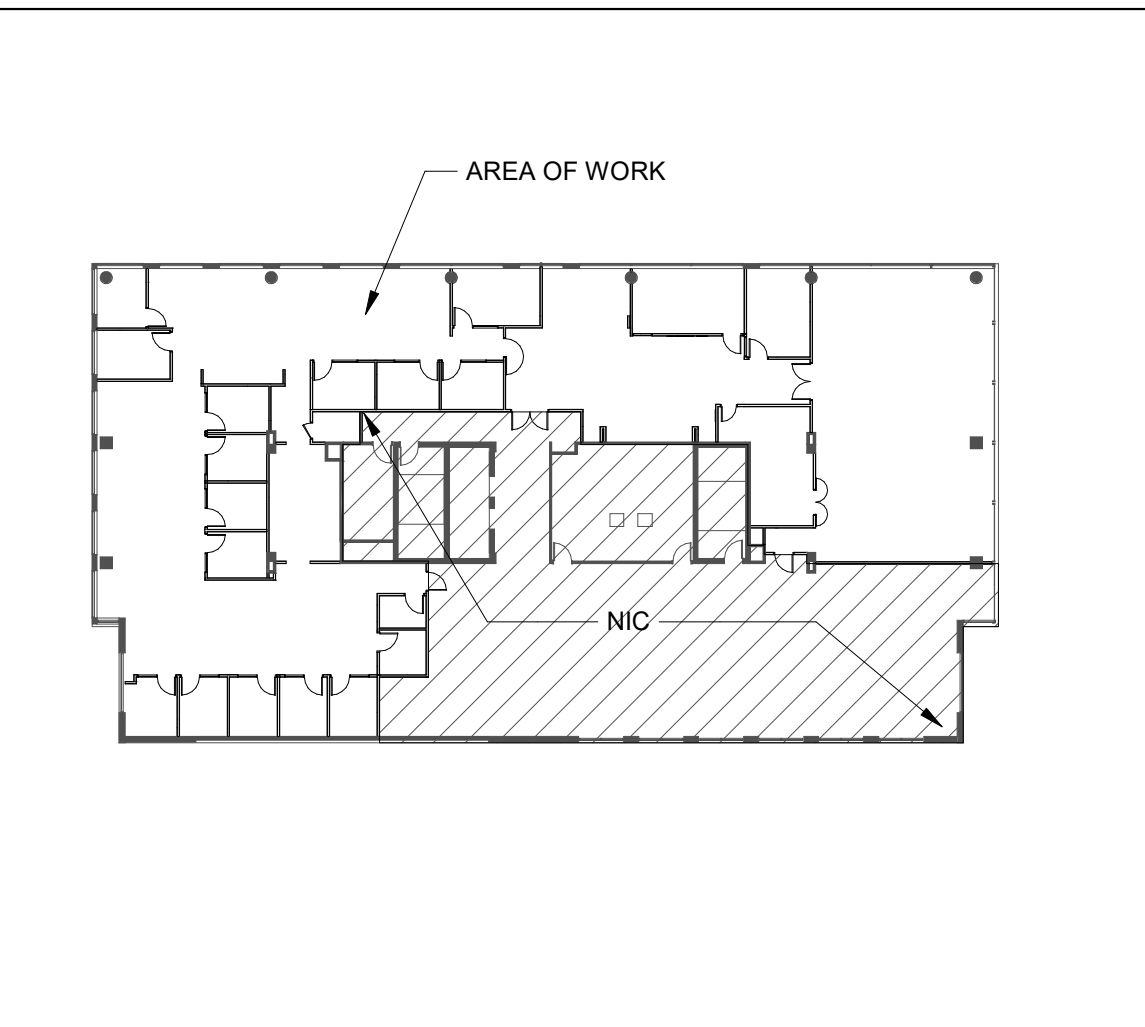
OCCUPANCY CALCULATIONS (1004.1.2)

1004.1.2 MAX AREA OCCUPANT					1004 OCCUPANCY TOTALS
Name	1004.1.2 Function of Space	Area	Occ Load Factor	Gross/Net	Rounded
3rd floor					
BOARDROOM	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	1494 SF	15	SF NET	100
Area	BUSINESS	2688 SF	150	SF GROSS	18
ANTE	BUSINESS	864 SF	150	SF GROSS	6
STORAGE	BUSINESS	233 SF	150	SF GROSS	2
MEETING	BUSINESS	157 SF	150	SF GROSS	2
MEETING	BUSINESS	206 SF	150	SF GROSS	2
OFFICE	BUSINESS	138 SF	150	SF GROSS	2
OFFICE	BUSINESS	80 SF	150	SF GROSS	2
OFFICE	BUSINESS	80 SF	150	SF GROSS	2
OFFICE	BUSINESS	80 SF	150	SF GROSS	2
OFFICE	BUSINESS	80 SF	150	SF GROSS	2
OFFICE	BUSINESS	75 SF	150	SF GROSS	2
OFFICE	BUSINESS	75 SF	150	SF GROSS	2
OFFICE	BUSINESS	75 SF	150	SF GROSS	2
OFFICE	BUSINESS	85 SF	150	SF GROSS	2
OFFICE	BUSINESS	78 SF	150	SF GROSS	2
OFFICE	BUSINESS	80 SF	150	SF GROSS	2
OFFICE	BUSINESS	75 SF	150	SF GROSS	2
OFFICE	BUSINESS	75 SF	150	SF GROSS	2
OFFICE	BUSINESS	78 SF	150	SF GROSS	2
OFFICE	BUSINESS	78 SF	150	SF GROSS	2
OFFICE	BUSINESS	78 SF	150	SF GROSS	2
MEETING	BUSINESS	58 SF	150	SF GROSS	2
MEETING	BUSINESS	98 SF	150	SF GROSS	2
MEETING	BUSINESS	80 SF	150	SF GROSS	2
WELLNESS	BUSINESS	41 SF	150	SF GROSS	2
Grand total		7023 SF			164

VICINITY MAP



KEY PLAN



DESCRIPTION OF WORK

INTERIOR FIT OUT OF AN EXISTING SHELL SPACE. SPACE WILL INCLUDE OFFICES, OPEN OFFICE, BREAK ROOM, ANTE ROOM, CONFERENCE ROOMS + A BOARDROOM.

DRAWING INDEX

SHEET NO	SHEET TITLE	REV NO	REV DATE
T001	TITLE SHEET		
G1	GENERAL NOTES & DETAILS		
G2	EXISTING PLAN		
A1	FLOOR PLAN + FINISH PLAN		
A2	RCPS		
A3	FURNITURE + POWER PLAN		
A4	ENLARGED PLANS		
A6	ELEVATIONS		
A7	ELEVATIONS		
A8	CEILING DETAILS		
A9	CASEWORK DETAILS		

TOBACCO FREE WORKZONE NOTES

USE OF TOBACCO PRODUCTS IS NOT PERMITTED ANYWHERE ON OWNER'S PROPERTY. PROHIBIT USE OF ALL TOBACCO PRODUCTS, INCLUDING BUT NOT LIMITED TO CIGARETTES, CIGARS, PIPES, CHEWING TOBACCO, SNIFF, DIP, SNUS AND ELECTRONIC CIGARETTES BY ALL PERSONNEL COVERED BY THIS CONTRACT WHILE ON OWNER'S PROPERTY. THIS PROHIBITION APPLIES TO OCCUPANTS OF JOBSITE OFFICES, STORAGE OR WORK SHEDS. WORK AREAS ASSIGNED EXCLUSIVELY TO THE CONTRACTOR, AND VEHICLES WHILE THE VEHICLE IS ON OWNER'S PROPERTY. ENFORCE REQUIREMENTS STRICTLY.

LIFE SAFETY GENERAL NOTES

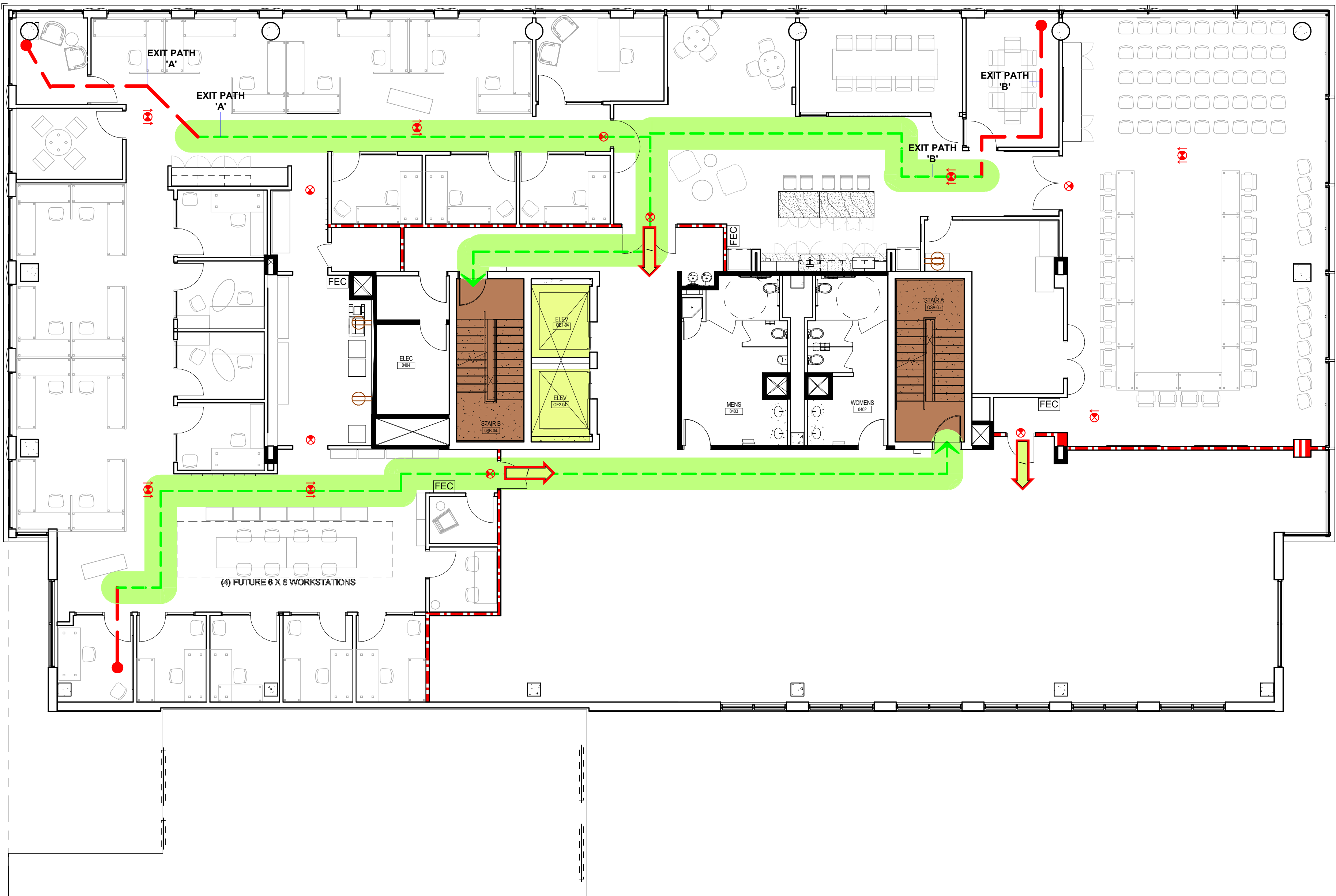
- FIRE EXTINGUISHER CABINETS SHALL BE LOCATED SO THAT THE MAXIMUM TRAVEL DISTANCE SHALL NOT EXCEED 75'-0" (906.3).
- MINIMUM EGRESS WIDTH PER OCCUPANT AT STAIRS = 0.3' PER OCCUPANT (1005.3.1).
- A FIRE RATED ASSEMBLY AND SMOKE BARRIER ASSEMBLY SHALL BE STENCILED WITH THE RELEVANT DESIGNATION AS FOLLOWS (703.7):
 - 3-INCH TALL LETTERS IN RED INK OR PAINT.
 - APPLIED AT ALL CONCEALED LOCATIONS (E.G., ABOVE CEILING AND INSIDE ELEVATOR SHAFTS) @ 8'-0" OC MAX.

CODE DATA (SIMPLE)

ZONING INFORMATION: B-4
CHAPTER 1: BUILDING CODE: 2012 ICC INTERNATIONAL BUILDING CODE (IBC), VIRGINIA
CHAPTER 2: DEFINITIONS: THE SCOPE OF WORK FOR THE THIS BUILDING IS A TENANT UPFIT IN A SHELL SPACE, NEW TENANT INCLUDES OFFICES, OPEN OFFICES, CONFERENCE ROOMS, ANTE AREA + A BREAK AREA.
CHAPTER 3: USE & CLASSIFICATION:
B - BUSINESS
A-3 - ASSEMBLY (TABLES + CHAIRS)
CHAPTER 4: SPECIAL DETAILED REQUIREMENTS: NOT APPLICABLE
CHAPTER 5: GENERAL BUILDING HEIGHTS & AREAS: NO CHANGE
CHAPTER 6: TYPE OF CONSTRUCTION: IA, L
CHAPTER 7: FIRE & SMOKE PROTECTION FEATURES: NO CHANGE
CHAPTER 8: INTERIOR FINISHES: NO CHANGE
CHAPTER 9: FIRE PROTECTION SYSTEMS: NO CHANGE
CHAPTER 10: MEANS OF EGRESS:
GENERAL MEANS OF EGRESS (1003) REFERENCE LIFE SAFETY PLANS ON G002 FOR GENERAL EGRESS PATHS.
OCCUPANT LOAD (1004) - REFERENCE OCCUPANCY CALCULATIONS (1004.1.2) TABLE FOR OCCUPANT LOADS APPLICABLE TO AREA OF WORK.
CHAPTER 11: ACCESSIBILITY: ALL SPACES WILL BE FULLY COMPLIANT.

6A 3RD FLOOR – EGRESS PLAN

SCALE: 1/8"=1'-0"



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NOT FOR CONSTRUCTION

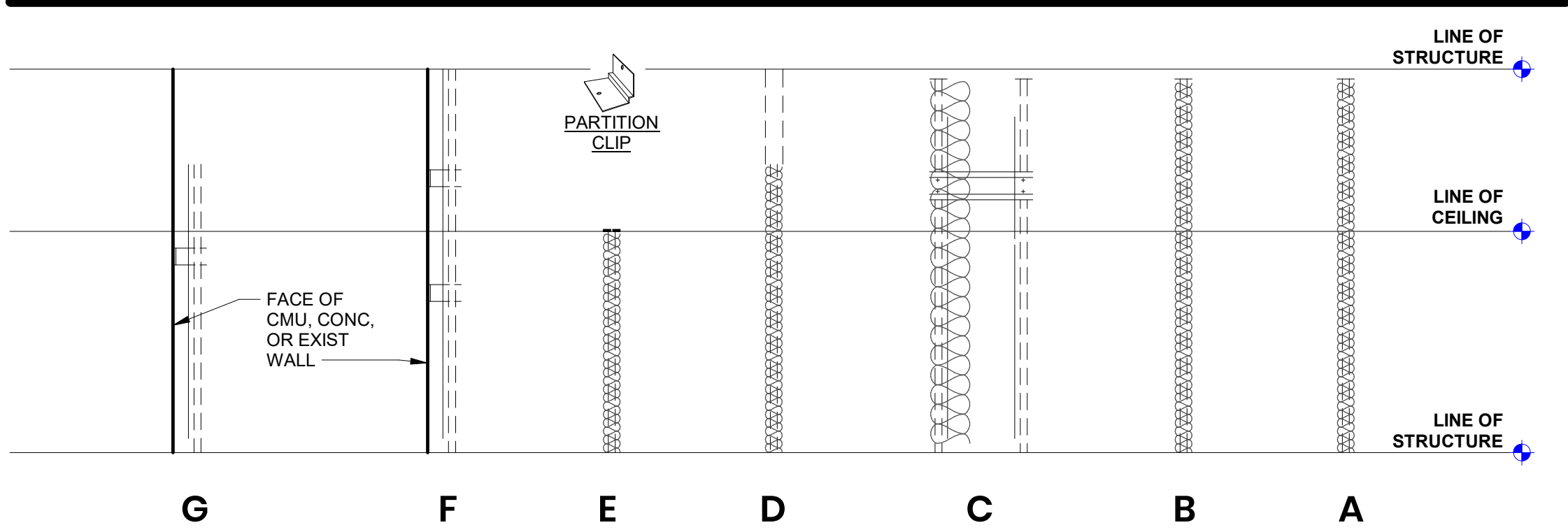
RICHMOND REGIONAL PLANNING DISTRICT
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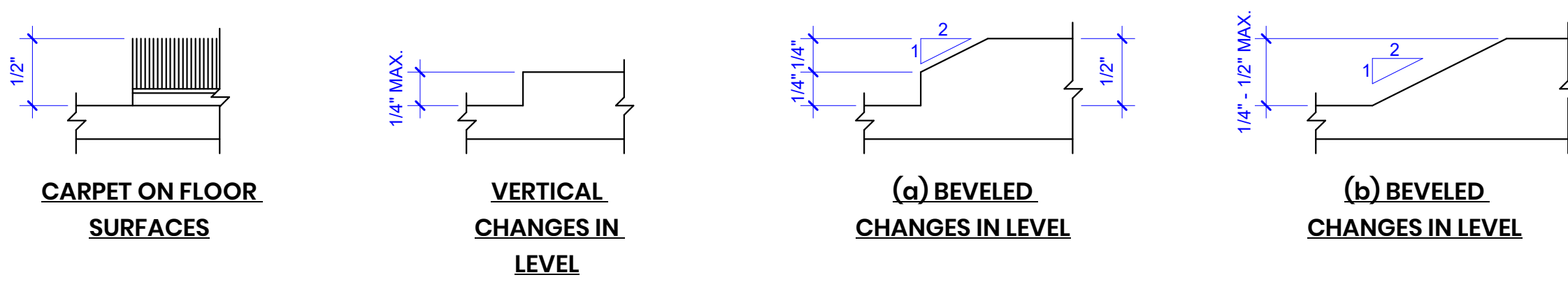
ISSUE
5/26/2022 –
CONSTRUCTION DOCUMENTS

TITLE SHEET
T001

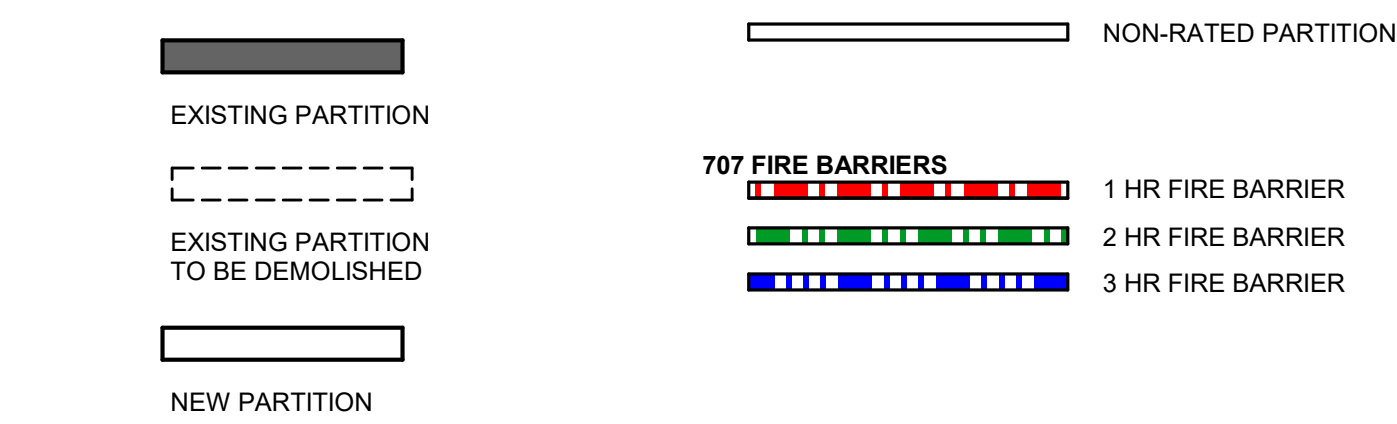
PARTITION DESIGNATION DIAGRAMS



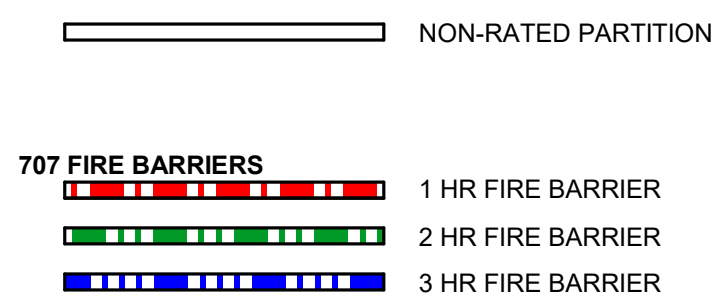
FLOOR SURFACES (ANSI 2009 302)



PARTITION INDICATIONS



PARTITION DESIGNATIONS (705 - 710)



DOOR HARDWARE SCHEDULE

TYPE	DESCRIPTION	QTY	ITEM SPEC.
A	PASSAGE		
B	PASSAGE LOCK		
C	CARD READER		
D	PUNCH CODE, PASSAGE LOCK		
E	OCCUPANCY INDICATOR, PASSAGE LOCK		
F	90 DEGREE HOLD OPEN, PUNCH CODE		

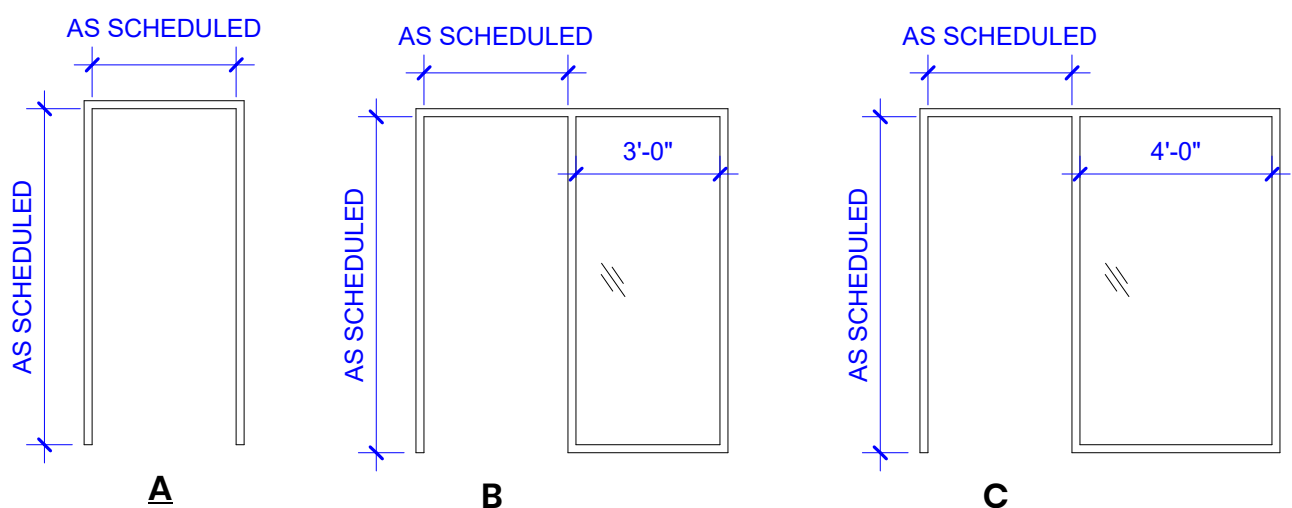
DOOR SCHEDULE

DOOR NO.	DOOR				FRAME				HARDWARE TYPE	COMMENTS
	PANEL	SIZE (WxH)	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	DETAIL		
301A	(2)FG	6'-0" x 7'-0"	WD	STN	A	HM	PNT		C - CARD READER	
301B	F	3'-0" x 7'-0"	WD	STN	A	HM	PNT		F - 90 DEGREE HOLD OPEN	
303A	F	2'-6" x 7'-0"	HM	PNT	A	HM	PNT		B - PASSAGE LOCK	
303B	(2)F	4'-0" x 7'-0"	HM	PNT	A	HM	PNT		A - PASSAGE	
304A	(2)FG	6'-0" x 7'-0"	WD	STN	A	HM	PNT		A - PASSAGE	
304B	FG	3'-0" x 7'-0"	HM	PNT	A	HM	PNT		D - PUNCH	
305A	FG	3'-0" x 7'-0"	WD	STN	A	HM	PNT		A - PASSAGE	
306A	FG	3'-0" x 7'-0"	WD	STN	A	HM	PNT		A - PASSAGE	
307A	F	3'-0" x 7'-0"	WD	STN	C	HM	PNT		B - PASSAGE LOCK	
308A	F	3'-0" x 7'-0"	WD	STN	C	HM	PNT		B - PASSAGE LOCK	
309A	F	3'-0" x 7'-0"	WD	STN	C	HM	PNT		B - PASSAGE LOCK	
310A	F	3'-0" x 7'-0"	WD	STN	C	HM	PNT		A - PASSAGE	
312A	F	2'-6" x 7'-0"	HM	PNT	A	HM	PNT		B - PASSAGE LOCK	
314A	F	3'-0" x 7'-0"	HM	PNT	A	HM	PNT		D - PUNCH	
315A	F	3'-0" x 7'-0"	WD	STN	A	HM	PNT		E - OCC IND. PASSAGE LOCK	
316A	FG	3'-0" x 7'-0"	WD	STN	A	HM	PNT		A - PASSAGE	
317A	F	3'-0" x 7'-0"	WD	STN	B	HM	PNT		A - PASSAGE	
318A	F	3'-0" x 7'-0"	WD	STN	B	HM	PNT		A - PASSAGE	
319A	F	3'-0" x 7'-0"	WD	STN	B	HM	PNT		A - PASSAGE	
320A	F	3'-0" x 7'-0"	WD	STN	B	HM	PNT		B - PASSAGE LOCK	
321A	F	3'-0" x 7'-0"	WD	STN	B	HM	PNT		B - PASSAGE LOCK	
323A	F	3'-0" x 7'-0"	WD	STN	B	HM	PNT		A - PASSAGE	
324A	F	3'-0" x 7'-0"	WD	STN	B	HM	PNT		A - PASSAGE	
325A	F	3'-0" x 7'-0"	WD	STN	B	HM	PNT		A - PASSAGE	
326A	F	3'-0" x 7'-0"	WD	STN	B	HM	PNT		A - PASSAGE	
328A	F	3'-0" x 7'-0"	WD	STN	A	HM	PNT		A - PASSAGE	
329A	F	3'-0" x 7'-0"	WD	STN	A	HM	PNT		A - PASSAGE	

PARTITION TYPE SCHEDULE

CONSTRUCTION DATA				FIRE PARTITIONS		
TYPE	FRAMING / CORE SIZE	OVERALL PARTITION WIDTH	RATING	UL DESIGNATION	STC RATING	
A - MTL STUD, DECK TO DECK; (1) LAYER GYP BD EA SIDE						
A4a	3 5/8"	5"	0 HR			
A4d	3 5/8"	5"	1 HR	U419	50	
D - MTL STUD; PARTIAL HEIGHT; 6" ABOVE CEILING; (1) LAYER GYP BD EA SIDE						
D4a	3 5/8"	5"	0 HR			
E - MTL STUD; PARTIAL HEIGHT; TO CEILING; (1) LAYER GYP BD EA SIDE						
E4a	3 5/8"	4 7/8"	0 HR			

DOOR FRAME TYPES

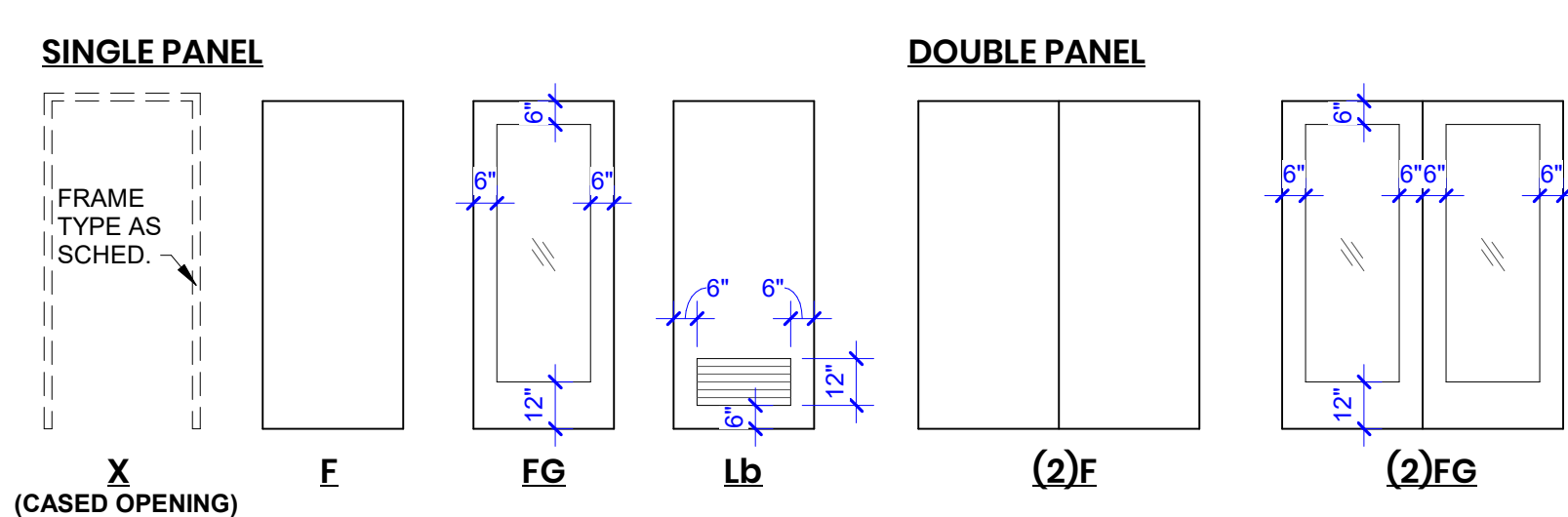


TOILET ACCESSORY MOUNTING DIAGRAM (ANSI 2009 604)

TOILET ACCESSORY	TA-9	TA-10
ILLUSTRATION		
ACCESSORY ITEM	HOOK	WALL BUMP
RESPONSIBILITY	--	--
BLOCKING TYPE	C1 (OR DOOR MOUNTED)	A1
MANUFACTURER	--	--
MODEL NUMBER	--	--

NOTE: EQUIPMENT INDICATED IN DIAGRAM MAY OR MAY NOT BE USED ON THIS PROJECT. REFER TO EQUIPMENT PLANS, INTERIOR ELEVATIONS, ETC. FOR LOCATION AND QUANTITIES OF ITEMS. CONFIRM WITH OWNER ALL REQUIREMENTS FOR OWNER FURNISHED, CONTRACTOR INSTALLED (OFCI) ITEMS.

DOOR TYPES



GENERAL ACCESSIBILITY NOTES

BUILDING AND FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO BE ACCESSIBLE IN ACCORDANCE WITH THE 2012 VIRGINIA CONSTRUCTION CODE AND 2009 ICC A117.1.

DEFINITIONS

ACCESSIBLE: A SITE, BUILDING, FACILITY OR PORTION THEREOF THAT COMPLIES WITH [THE REFERENCED CODES] CHAPTER 11.

ACCESSIBLE ROUTE: A CONTINUOUS, UNOBSTRUCTED PATH THAT COMPLIES WITH [THE REFERENCED CODES] CHAPTER 11.

CIRCULATION PATH: AN EXTERIOR OR INTERIOR WAY OF PASSAGE FROM ONE PLACE TO ANOTHER FOR PEDESTRIANS.

COMMON USE: INTERIOR OR EXTERIOR CIRCULATION PATHS, ROOMS, SPACES OR ELEMENTS THAT ARE NOT FOR PUBLIC USE AND ARE MADE AVAILABLE FOR THE SHARED USE OF TWO OR MORE PEOPLE.

EMPLOYEE WORK AREA: ALL OR ANY PORTION OF A SPACE USED ONLY BY EMPLOYEES AND ONLY FOR WORK. CORRIDORS, TOILET ROOMS, KITCHENETTES AND BREAK ROOMS ARE NOT EMPLOYEE WORK AREAS.

FACILITY: ALL OR ANY PORTION OF BUILDINGS, STRUCTURES, SITE IMPROVEMENTS, ELEMENTS AND PEDESTRIAN OR VEHICULAR ROUTES LOCATED ON A SITE.

PUBLIC ENTRANCE: AN ENTRANCE THAT IS NOT A SERVICE ENTRANCE OR A RESTRICTED ENTRANCE.

PUBLIC-USE AREAS: INTERIOR OR EXTERIOR ROOMS OR SPACES THAT ARE MADE AVAILABLE TO THE GENERAL PUBLIC.

RESTRICTED ENTRANCE: AN ENTRANCE THAT IS MADE AVAILABLE FOR COMMON USE ON A CONTROLLED BASIS, BUT NOT PUBLIC USE, AND THAT IS NOT A SERVICE ENTRANCE.

SERVICE ENTRANCE: AN ENTRANCE INTENDED PRIMARILY FOR DELIVERY OF GOODS OR SERVICES.

SITE: A PARCEL OF LAND BOUNDED BY A LOT LINE OR A DESIGNATED PORTION OF A PUBLIC RIGHT-OF-WAY.

WHEELCHAIR SPACE: A SPACE FOR A SINGLE WHEELCHAIR AND ITS OCCUPANT.

SCOPING REQUIREMENTS

SITES, BUILDINGS, STRUCTURES, FACILITIES, ELEMENTS AND SPACES, TEMPORARY OR PERMANENT, SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES.

SITES, BUILDINGS, STRUCTURES, FACILITIES, ELEMENTS AND SPACES SHALL BE EXEMPT FROM THESE REQUIREMENTS TO THE EXTENT SPECIFIED BELOW AND IN OTHER SECTIONS OF THE AFORE REFERENCED ACCESSIBILITY CODES.

ACCESSIBILITY IS NOT REQUIRED IN BUILDINGS AND FACILITIES, OR PORTIONS THEREOF, TO THE EXTENT PERMITTED BY 2015 VCC SECTIONS 1104 THROUGH 1111.

EXISTING BUILDINGS SHALL COMPLY WITH THE 2015 IEBC, CODE SECTION 101.4.7.; EXISTING BUILDINGS SHALL COMPLY WITH THE 2015 VECB SECTIONS 401-405

EMPLOYEE WORK AREAS (1103.2.2)

SPACES AND ELEMENTS WITHIN EMPLOYEE WORK AREAS SHALL ONLY BE REQUIRED TO COMPLY WITH SECTIONS 907.5.2.3.1, 1109, AND 1104.3.1 AND SHALL BE DESIGNED AND CONSTRUCTED SO THAT INDIVIDUALS WITH DISABILITIES CAN APPROACH, ENTER AND EXIT THE WORK AREA. WORK AREAS OR PORTIONS OF WORK AREAS OTHER THAN RAISED COURTROOM STATIONS IN ACCORDANCE WITH SECTION 1108.4.1 THAT ARE LESS THAN 300 SQUARE FEET IN AREA AND ELEVATED 7 INCHES OR MORE ABOVE OR BELOW THE GROUND OR FINISHED FLOOR WHERE THE CHANGE IN ELEVATION IS ESSENTIAL TO THE FUNCTION OF THE SPACE SHALL BE EXEMPT FROM ALL REQUIREMENTS.

LIMITED ACCESS SPACES (1103.2.7)

[NONOCCUPABLE] ELIMINATED IN 2015 IS SPACES ACCESSED ONLY BY LADDERS, CATWALKS, CRAWL SPACES, FREIGHT ELEVATORS OR VERY NARROW PASSAGEWAYS ARE NOT REQUIRED TO BE ACCESSIBLE.

EQUIPMENT SPACES (1103.2.9)

SPACES FREQUENTED ONLY BY SERVICE PERSONNEL FOR MAINTENANCE, REPAIR OR OCCASIONAL MONITORING OF EQUIPMENT ARE NOT REQUIRED TO BE ACCESSIBLE.

EMPLOYEE WORK AREAS (907.5.2.3.1) (REFERENCED ABOVE)

WHERE EMPLOYEE WORK AREAS HAVE AUDIBLE ALARM COVERAGE, THE NOTIFICATION APPLIANCE CIRCUITS SERVING THE EMPLOYEE WORK AREAS SHALL BE INITIALLY DESIGNED WITH NOT LESS THAN 20 PERCENT SPARE CAPACITY TO ACCOUNT FOR THE POTENTIAL OF ADDING VISIBLE NOTIFICATION APPLIANCES IN THE FUTURE TO ACCOMMODATE HEARING IMPAIRED EMPLOYEE(S).

ACCESSIBLE MEANS OF EGRESS (1007) (REFERENCED ABOVE)

ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS. WHERE MORE THAN ONE MEANS OF EGRESS IS REQUIRED FROM ANY ACCESSIBLE SPACE, EACH ACCESSIBLE PORTION OF THE SPACE SHALL BE SERVED BY NOT LESS THAN TWO ACCESSIBLE MEANS OF EGRESS.

EMPLOYEE WORK AREAS (1104.3.1) (REFERENCED ABOVE)

COMMON USE CIRCULATION PATHS WITHIN EMPLOYEE WORK AREAS SHALL BE ACCESSIBLE ROUTES

EXCEPTIONS:

- COMMON USE CIRCULATION PATHS, LOCATED WITHIN EMPLOYEE WORK AREAS THAT ARE LESS THAN 1000 SQUARE FEET IN SIZE AND DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CASEWORK OR FURNISHINGS, SHALL NOT BE REQUIRED TO BE ACCESSIBLE ROUTES.
- COMMON USE CIRCULATION PATHS, LOCATED WITHIN EMPLOYEE USE AREAS, THAT ARE AN INTEGRAL COMPONENT OF EQUIPMENT, SHALL NOT BE REQUIRED TO BE ACCESSIBLE ROUTES.
- COMMON USE CIRCULATION PATHS, LOCATED WITHIN EXTERIOR EMPLOYEE WORK AREAS THAT ARE FULLY EXPOSED TO THE WEATHER, SHALL NOT BE REQUIRED TO BE ACCESSIBLE ROUTES.

ACCESSIBLE ENTRANCES (1105)

AT LEAST 60 PERCENT OF ALL PUBLIC ENTRANCES SHALL BE ACCESSIBLE.

EXCEPTIONS:

- AN ACCESSIBLE ENTRANCE IS NOT REQUIRED TO AREAS NOT REQUIRED TO BE ACCESSIBLE.
- LOADING AND SERVICE ENTRANCES THAT ARE NOT THE ONLY ENTRANCE TO A TENANT SPACE.

WHERE RESTRICTED ENTRANCES ARE PROVIDED TO A BUILDING OR FACILITY, AT LEAST ONE RESTRICTED ENTRANCE TO THE BUILDING OR FACILITY SHALL BE ACCESSIBLE, IF A SERVICE ENTRANCE IS THE ONLY ENTRANCE TO A BUILDING OR A TENANT SPACE IN A FACILITY, THAT ENTRANCE SHALL BE ACCESSIBLE.

AT LEAST ONE ACCESSIBLE ENTRANCE SHALL BE PROVIDED TO EACH TENANT IN A FACILITY. AN ACCESSIBLE ENTRANCE IS NOT REQUIRED TO SELF-SERVICE STORAGE FACILITIES [TENANTS - ELIMINATED IN 2015] THAT ARE NOT REQUIRED TO BE ACCESSIBLE.

PARKING AND PASSENGER LOADING FACILITIES (1106)

WHERE PARKING IS PROVIDED, ACCESSIBLE PARKING SPACES SHALL BE PROVIDED IN COMPLIANCE WITH REFERENCED CODE SECTIONS AND TABLES.

TEN PERCENT OF PATIENT AND VISITOR PARKING SPACES PROVIDED TO SERVE HOSPITAL OUTPATIENT FACILITIES SHALL BE ACCESSIBLE.

FOR EVERY SIX OR A FRACTION OF SIX ACCESSIBLE SPACES, AT LEAST ONE SHALL BE A VAN-ACCESSIBLE PARKING SPACE.

NOTHING IN THE REFERENCED STANDARDS IS INTENDED TO PREVENT THE USE OF DESIGNS, PRODUCTS, OR TECHNOLOGIES AS ALTERNATIVES TO THOSE PRESCRIBED PROVIDED THEY RESULT IN EQUIVALENT OR GREATER ACCESSIBILITY AND SUCH EQUIVALENCY IS APPROVED BY THE AUTHORITY HAVING JURISDICTION.

THE AUTHORITY HAVING JURISDICTION SHALL PROVIDE AN APPROPRIATE REVIEW AND APPROVAL PROCESS TO ENSURE COMPLIANCE WITH ADOPTED STANDARDS. ADAAG AND ICC A117.1 ARE SUBJECT TO VARIOUS AND POSSIBLE CONTRADICTORY INTERPRETATIONS. THE ARCHITECT, THEREFORE, WILL USE REASONABLE PROFESSIONAL EFFORTS AND JUDGEMENTS TO INTERPRET APPLICABLE ACCESSIBILITY REQUIREMENTS AS THEY PERTAIN TO PHYSICAL BARRIERS AND AS THEY APPLY TO THE PROJECT. THE ARCHITECT, HOWEVER, CANNOT AND DOES NOT WARRANT OR GUARANTEE THAT THE PROJECT WILL COMPLY WITH ALL INTERPRETATIONS OF SUCH ACCESSIBILITY REQUIREMENTS AND/OR THE REQUIREMENTS OF OTHER FEDERAL, STATE AND LOCAL LAWS, RULES, CODES, ORDINANCES AND REGULATIONS THAT APPLY TO THE PROJECT.

GENERAL DEMOLITION NOTES

- CONTRACTOR TO CONTACT OWNER PRIOR TO START OF DEMOLITION OF ANY AREA TO ALLOW OWNER TO REMOVE ANY MOVABLE EQUIPMENT SO DESIRED.
- REMOVE ALL FIRE EXTINGUISHERS AND CABINETS IN WALLS TO BE DEMOLISHED AND RETURN TO OWNER FOR FUTURE REUSE.
- REPAIR HOLES IN EXISTING WALLS TO REMAIN WHERE WALL MOUNTED ITEMS ARE TO BE REMOVED. REFER TO ROOM FINISH LEGEND FOR FINAL FINISH.
- PATCH, FILL, AND LEVEL ALL HOLES IN FLOOR SLAB DUE TO DEMOLITION OF PLUMBING RISERS, FLOOR DRAINS, ELECTRICAL RISERS, MILLWORK, CASEWORK, OR EQUIPMENT.
- REPAIR ALL CEILINGS TO MATCH EXISTING CEILINGS WHERE WALLS ARE TO BE DEMOLISHED AND EXISTING CEILING IS TO REMAIN.
- CONTRACTOR TO MATCH ALL EXISTING CONDITIONS FOR ALL REQUIRED MODIFICATIONS IN RENOVATED AREAS (U.N.O.). THIS REFERS TO REPETITIONS OF FINISH PATTERNS AND COLORS, MODIFICATIONS TO HANDRAILS AND BUMPER PANELS, ETC.
- WHERE PARTITIONS, EQUIPMENT, OR ACCESSORIES, ETC. ARE REMOVED AND NO REPLACEMENT FINISH IS CALLED FOR, THE GENERAL CONTRACTOR SHALL REPAIR TO MATCH ADJACENT FINISH.
- CONTRACTOR TO PROTECT FROM DAMAGE ALL EXISTING FLOORS, WALLS, CEILINGS, ETC. DURING CONSTRUCTION AND PROVIDE TEMPORARY PARTITIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND REPLACEMENT OF ALL DAMAGED FLOORING, WALLS, CEILINGS, ETC. FINISHES TO MATCH EXISTING.
- DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED. TYPICAL (U.N.O.).
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEMOLITION MATERIALS. TEMPORARY LIGHTING WILL BE PROVIDED BY THE CONTRACTOR.
- REMOVE ALL FLOOR COVERINGS AND PREP CONCRETE DECK FOR NEW CARPET VINYL AND CERAMIC TILE AS SCHEDULED. (TYPICAL - ALL ROOMS WITHIN LIMITS OF PROJECT).
- REMOVE EXISTING CEILING GRID AND ASSOCIATED SUPPORT SYSTEM - RETURN EXISTING LIGHT FIXTURES TO OWNER (TYPICAL - ALL ROOMS WITHIN LIMITS OF PROJECT).
- ADDITIONAL DEMOLITION MAY BE REQUIRED TO ACCOMMODATE NEW CONSTRUCTION SHOWN ON OTHER SHEETS. CONTRACTORS TO REVIEW EXISTING CONDITIONS AND INCLUDE IN BASE BID ALL DEMOLITION REQUIRED FOR A COMPLETE INSTALLATION.
- REMOVE ALL EXISTING BASES AND VINYL WALL COVERINGS. PREPARE SURFACES TO ACCEPT NEW FINISHES, TYP.

PATCH & REPAIR NOTES

- FILL ALL HOLES IN FLOOR SLAB WITH CONCRETE AFTER REMOVAL OF PLUMBING LINES, DRAINS, PIPES, ETC. MAINTAIN REQUIRED FIRE RATINGS.
- PATCH AND REPAIR HOLES IN EXISTING GYP BD PARTITIONS FROM REMOVED EQUIPMENT, MECHANICAL AND ELECTRICAL DEVICES AND OUTLETS, ATTACHMENTS, FURNISHINGS, ETC.
- PATCH AND REPAIR ALL CEILINGS, PARTITIONS, AND FLOORS DISTURBED FOR NEW MECHANICAL AND ELECTRICAL WORK. THIS WORK MAY EXTEND BEYOND BOUNDARIES INDICATING "PROJECT LIMITS" ON ARCHITECTURAL DRAWINGS. FINISHES SHALL MATCH EXISTING, OR PROVIDE NEW AS SCHEDULED.
- REMOVE ALL EXISTING FIREPROOFING DISTURBED DURING DEMOLITION AT COLUMNS AND BRACING TO MEET REQUIRED FIRE RATINGS.
- PATCH AND REPAIR FINISHES WHERE EXISTING WALLS, PARTITIONS, DOORS, PLUMBING FIXTURES, OR CASEWORK HAVE BEEN REMOVED. FINISHES SHALL MATCH EXISTING, OR PROVIDE NEW AS SCHEDULED.

GENERAL NOTES

DEFINITION: THE TERM "DESIGN PROFESSIONAL" MEANS "ARCHITECT"; "PROFESSIONAL ENGINEER"; "INTERIOR DESIGNER" OR OTHER PARTY RESPONSIBLE FOR PROVIDING DESIGN SERVICES AS APPROPRIATE.

- VERIFY ALL EXISTING CONDITIONS.
- CONTRACTOR TO MAINTAIN EGRESS ROUTES FROM EXISTING BUILDING THROUGHOUT THE COURSE OF CONSTRUCTION.
- VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR UNLESS OTHERWISE NOTED. REFER TO ELEVATIONS FOR FLOOR LINE DATUMS.
- HORIZONTAL DIMENSIONS FOR NEW CONSTRUCTION ARE FROM FACE OF FINISH UNLESS OTHERWISE NOTED. HORIZONTAL DIMENSIONS FOR EXISTING CONSTRUCTION ARE FROM FACE OF EXISTING FINISHED SURFACE.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT WITH THE DESIGN PROFESSIONAL TO OBTAIN CLARIFICATION BEFORE CONTINUING WITH CONSTRUCTION.
- HOLES CUT THROUGH EXISTING OR NEW FIRE RATED CONSTRUCTION FOR INSTALLATION OF PIPING, DUCTWORK, OR OTHER PENETRATIONS SHALL BE KEPT TO A MINIMUM NUMBER AND HELD TO A MINIMUM SIZE. FILL VOIDS BETWEEN PIPES, DUCTS, OTHER PENETRATING ITEMS AND RATED CONSTRUCTION WITH FIRE RETARDANT SEALANT SYSTEM LISTED IN THE UL FIRE RESISTANCE DIRECTORY WITH FIRE RATING AND TEMPERATURE (T) RATINGS EQUAL TO OR GREATER THAN THE FIRE RESISTANCE RATING OF THE ASSEMBLY BEING SEALED.
- ALIGN NEW FLOOR FINISHES WITH EXISTING ADJACENT FLOOR FINISHES UNLESS OTHERWISE INDICATED. WHERE NEW AND EXISTING FINISHED SURFACES ARE INDICATED TO BE ALIGNED, INSTALL SO FINISHED SURFACES ARE FLUSH (FEATHER MAXIMUM 1/8" PER FOUR FEET).
- IT IS UNDERSTOOD AND AGREED THAT DRAWING REFINEMENTS, ADDITIONAL DETAILING AND CLARIFICATIONS WILL BE ISSUED DURING THE CONSTRUCTION SCHEDULE AND NO ADJUSTMENT WILL BE MADE IN THE CONTRACTORS' OR SUB-CONTRACTORS' PRICE UNLESS SUCH REFINEMENT, DETAILING OR CLARIFICATIONS RESULT IN CHANGES TO THE SCOPE, QUALITY, FUNCTION AND OR INTENT OF THE DRAWINGS AND THE PROBABLY NOT REASONABLY INFERRABLE BY A CONTRACTOR OR SUB-CONTRACTOR EXPERIENCED IN THIS TYPE OF WORK.
- ALL CONTRACTORS AND SUB-CONTRACTORS MUST QUOTE ON COMPLETED, FULLY OPERABLE SYSTEMS BASED ON THE DESIGN INTENT OF THE CONTRACT DOCUMENTS, AND ALL MATERIAL AND LABOR IMPLIED THEREFROM.
- UNLESS OTHERWISE REQUIRED BY THE OWNER, CONSTRUCTION ADMINISTRATION SERVICES WILL BE COMPLETED USING NEWFORMA PROJECT CENTER REFERENCE DIVISION 1 OF THE SPECIFICATIONS FOR THE PROCEDURES FOR REQUESTS FOR INFORMATION AND SUBMITTALS.

REFLECTED CEILING PLAN NOTES

- THE REFLECTED CEILING PLAN PROVIDES INFORMATION CONCERNING THE LOCATIONS OF LIGHTS, CEILING FIXTURES, HVAC GRILLES, ETC. REFER TO THE REFLECTED CEILING PLAN FOR LOCATIONS ONLY. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR APPLICABLE ENGINEERING INFORMATION.
- SPRINKLER HEADS ARE NOT INDICATED. REFER TO PLUMBING DRAWINGS FOR SPRINKLER REQUIREMENTS AND INFORMATION.
- CEILING FIXTURES INCLUDING GRILLES, DIFFUSERS, INCANDESCENT LIGHTS, ETC. ARE TO BE CENTERED IN ACOUSTIC CEILING PANELS UNLESS NOTED OTHERWISE.
- ALL CEILING HEIGHTS NOTED ARE ABOVE FINISHED FLOOR (A.F.F.).

DOOR HARDWARE NOTES

- UNLESS OTHERWISE INDICATED PROVIDE THE FOLLOWING HARDWARE FINISHES AS APPROPRIATE FOR EACH HARDWARE ITEM THROUGHOUT THE PROJECT.
A. BHMA Z86952 SATIN CHROME.
- PROVIDE HARDWARE FOR DOOR OPENINGS OCCURRING IN FIRE RATED CONSTRUCTION THAT IS LISTED AND LABELED AS APPROPRIATE FOR THE OPENING AND REQUIRED FIRE RATING. PROVIDE SELF-CLOSING AND LATCHING HARDWARE FOR ALL FIRE RATED OPENINGS. TYPICAL. COMPLY WITH NFPA 80, TYPICAL.
- COMPLY WITH CURRENT REQUIREMENTS OF ADA AND ICC/ANSI A117.1.
- UNLESS OTHERWISE INDICATED ALL LOCKING AND LATCHING HARDWARE SHALL BE GRADE 1.

DOOR SCHEDULE NOTES

- VERIFY EXISTING PARTITION THICKNESS PRIOR TO FABRICATING DOOR FRAME.
- PROVIDE EITHER WALL STOPS OR TRACK TYPE OVERHEAD STOPS AS REQUIRED. FLOOR STOPS ARE NOT ACCEPTABLE.
- DOORS SHOULD NOT BE UNDERCUT MORE THAN 3/4" ABOVE NEW FINISHED SURFACES.
- DOOR FRAMES AT INSULATED PARTITIONS SHALL RECEIVE INSULATION IN JAMB & HEAD CAVITY.
- ALL FRAMES & ANCHORS TO BE INSTALLED ACCORDING TO FRAME MANUFACTURER'S INSTRUCTIONS.
- ALL HM FRAMES TO BE FULLY WELDED, UNO.
- RATED OPENINGS SHALL RECEIVE UL RATED FRAME ASSEMBLY.
- PROVIDE 6" MINIMUM CLEAR BETWEEN JAMB & ADJACENT PARTITION. REFER TO ACCESSIBILITY DIAGRAMS FOR CODE-REQUIRED CLEARANCES AT OPENINGS.
- OPENINGS IN LEAD LINED PARTITIONS SHALL RECIEVE LEAD LINED DOORS & FRAMES.



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GENERAL NOTES & DETAILS G1



4A TI - SPACE PLAN -- 3RD FLOOR
SCALE: 1/8" = 1'-0"

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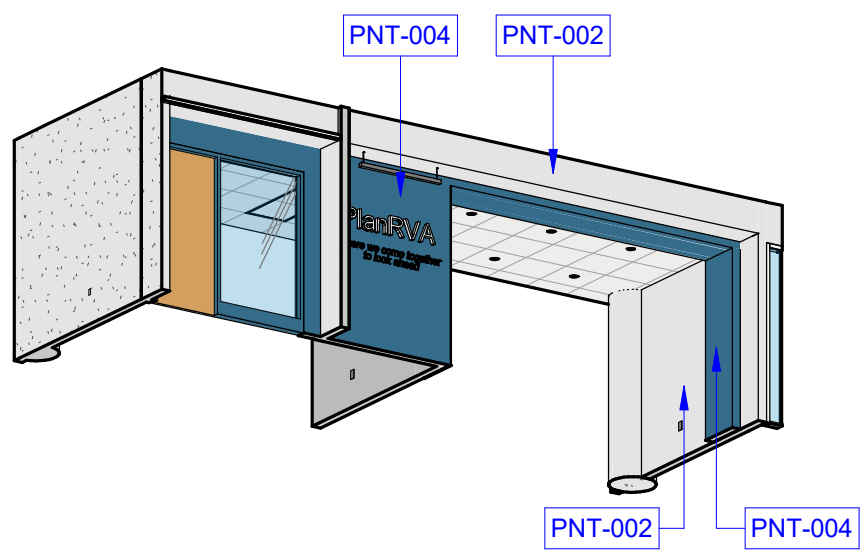
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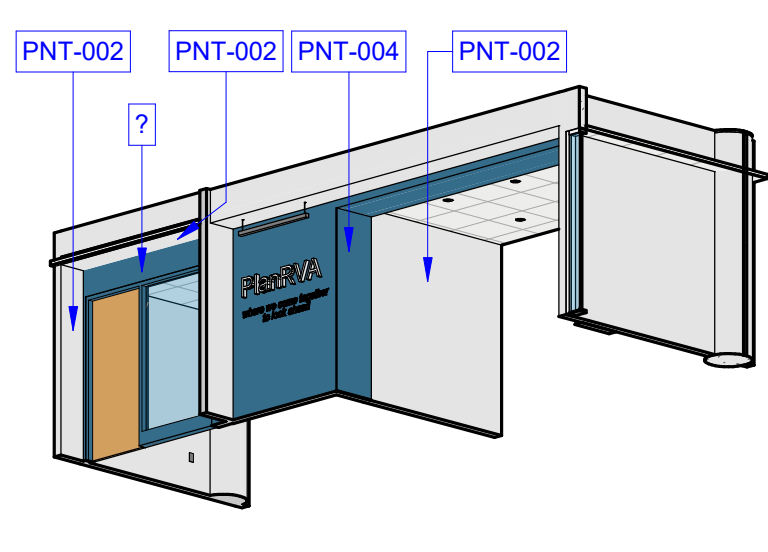
EXISTING PLAN
G2

INTERIOR FINISH LEGEND

FINISH NO.	MATERIAL	MANUFACTURER	STYLE NAME / NO.	COLOR	SIZE	DESCRIPTION / REMARKS
ACOUSTIC CEILING TILE	CEILING TILE	ARMSTRONG	DUNE	WHITE	2' X 2'	
BULLETIN BOARD	BULLETIN BOARD	FORBO	2209	BLACK OLIVE	CUSTOM	
CARPET	CARPET	MOHAWK	ART INTERVENTION; DRAFT POINT	PEWTER - 959	2' X 2'	SOLID GREY - STACK INSTALL
CPT-002	CARPET	MOHAWK	ART INTERVENTION; CENTRAL POINT	PLATINUM - 939	2' X 2'	DARK GREY - STACK INSTALL
CPT-003	CARPET	MOHAWK	ART INTERVENTION; DRAFT POINT	EMINENCE - 464	2' X 2'	SOLID PURPLE; QUARTER TURN
CPT-004	CARPET	FLO	REORIENTED	LAVENDAR	19" X 19"	
PAINT	PAINT	SHERWIN WILLIAMS	CEILING BRIGHT WHITE	7007	N/A	EGGSHELL
PNT-001	PAINT	SHERWIN WILLIAMS	PURE WHITE	7005	N/A	EGGSHELL
PNT-003	PAINT	SHERWIN WILLIAMS	KRYPTON	6247	N/A	EGGSHELL - ACCENT GRAY
PNT-004	PAINT	SHERWIN WILLIAMS	TURKISH TILE	7610	N/A	EGGSHELL - ACCENT DARK BLUE
PNT-005	PAINT	SHERWIN WILLIAMS	LUXE BLUE	6537	N/A	EGGSHELL - ACCENT DARK PURPLE
PNT-006	PAINT	SHERWIN WILLIAMS	GIBRALTAR	6257	N/A	EGGSHELL - ACCENT DARK GREY
PNT-007	PAINT	SHERWIN WILLIAMS	OPEN SEAS	6500	N/A	EGGSHELL - ACCENT LIGHT BLUE
PLASTIC LAMINATE	PLASTIC LAMINATE	WILSONART	LINEN D427-60		N/A	WHITE
PLAM-002	PLASTIC LAMINATE	FORMICA	AGED ASH 8844-WR		N/A	WOOD LOOK
PLAM-003	PLASTIC LAMINATE	WILSONART	SATIN STAINLESS		N/A	GREY
PLAM-004	PLASTIC LAMINATE	WILSONART	TO MATCH PNT-003		N/A	TO MATCH PNT-003
RUBBER BASE	RUBBER BASE	ROPPE	700 SERIES	60 CANDID	4"	
RB-001	RUBBER BASE	ROPPE	700 SERIES	627 MARINER	4"	
SOLID SURFACE MATERIAL	SOLID SURFACE MATERIAL	CORIAN	ENDURA	DEEP METAL	CUSTOM	ISLAND
SSM-001	SOLID SURFACE MATERIAL	CORIAN	ENDURA	DEEP METAL	CUSTOM	ISLAND
STONE	STONE	DALTILE	ONE QUARTZ	NQ66 FRESH LINENS	CUSTOM	BREAK COUNTERTOP
ST-001	STONE	DALTILE	ONE QUARTZ	NQ66 FRESH LINENS	CUSTOM	BREAK COUNTERTOP



MAIN ENTRY AXON - VIEW A



MAIN ENTRY AXON - VIEW B

EQUIPMENT SCHEDULE

EQUIPMENT	TYPE MARK	MANUFACTURER	MODEL	RESPONSIBILITY	COMMENTS
3rd floor					
COPIER	LG COPY	N/A	N/A	OWNER PROVIDED; OWNER INSTALLED	
COAT HOOKS	COAT HOOKS			GC PROVIDED; GC INSTALLED	
WALL MOUNT MONITOR	EQ4			OWNER PROVIDED; OWNER INSTALLED	
REFRIGERATOR	EQ3	GE	GWE19JGL	GC PROVIDED; GC INSTALLED	FINISH: BLACK OR STAINLESS
BUNN COFFEE MAKER	EQ9			OWNER PROVIDED; OWNER INSTALLED	
BUNN CARAFE	EQ8			OWNER PROVIDED; OWNER INSTALLED	
DISHWASHER	EQ2			OWNER PROVIDED; GC INSTALLED	EXISTING EQUIP - SIZE TO BE VERIFIED BY GC FOR PLACEMENT WITHIN ARCHITECTURAL CASEWORK
ICEMAKER	EQ1			OWNER PROVIDED; GC INSTALLED	EXISTING EQUIP - SIZE TO BE VERIFIED BY GC FOR PLACEMENT WITHIN ARCHITECTURAL CASEWORK
RECYCLE	EQ5	N/A	N/A	OWNER PROVIDED; OWNER INSTALLED	
SMALL COPY	EQ6	N/A	N/A	OWNER PROVIDED; OWNER INSTALLED	
CASEWORK TRASH/RECYCLE				GC PROVIDED; GC INSTALLED	

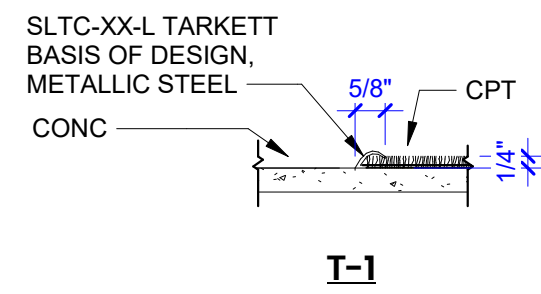
PLUMBING FIXTURE LEGEND

FINISH NO.	PRODUCT DESCRIPTION	MANUFACTURER	STYLE NAME / NO.	COLOR	SIZE	DESCRIPTION / REMARKS	RESPONSIBILITY
PL-1	SINK	KOHLER	VAULT UNDERMOUNT	STAINLESS STEEL	33" X 22"	K-3894.4	GC PROVIDED; GC INSTALLED
PL-2	FAUCET	VIGO	PULL-DOWN SPRAY 360 SWIVEL SINGLE HOLE	BLACK	17" H	VG02008	GC PROVIDED; GC INSTALLED
PL-3	GARBAGE DISPOSAL						GC PROVIDED; GC INSTALLED

INTERIOR FINISH NOTES

- ALL WALLS & COLUMNS TO BE PAINTED **PNT-002** U.O.N.
- PAINT FINISH TYPES:
 - GYP BD WALLS = EGGSHELL FINISH
 - GYP BD SOFFITS/CEILINGS = FLAT FINISH
 - HM DOOR FRAMES = SEMI-GLOSS FINISH
 - HVAC PAINT EXPOSED CEILING - ALL DUCT TO BE PROPERLY PREPPED TO RECEIVE PAINT. ALL OIL, GREASE, DUST AND ANY OTHER FACTORS THAT COULD PREVENT THE PROCESSES REQUIRED FOR THE PAINT TO PROPERLY ADHERE SHOULD BE REMOVED.
- ALL PAINT TYPES TO BE SUBMITTED FOR ARCHITECTS APPROVAL.
- ALL WALLS PAINTED **PNT-002** TO RECEIVE WHITE COVER PLATES AT ANY POWER/DATA RECEPTACLE, LIGHT SWITCHES, THERMOSTATS, SENSORS, ETC.
- VENTS, DIFFUSERS, AND OTHER WALL + CEILING FIXTURE FINISHES TO BE CONFIRMED BY ARCHITECT. SUBMIT SAMPLE FOR APPROVAL.
- ALL MECHANICAL/FIRE PROTECTION, PIPING, CONDUITS AND EQUIPMENT ON ANY PAINTED CEILING SHALL BE PAINTED TO MATCH CEILING FINISH, U.O.N. DO NOT PAINT SPRINKLER HEADS.
- SEE CASEWORK ELEVATIONS FOR PLASTIC LAMINATE DESIGNATION. SUBMIT SAMPLES FOR ARCHITECTS APPROVAL.
- WHERE HM DOOR FRAMES ARE LOCATED ON WALL RECEIVING NEW PAINT, PAINT FRAME COLOR OF ADJACENT WALL.
- PAINT ALL GYP BD CEILINGS AND SOFFITS **PNT-001** U.O.N.
- FINISH ON VERTICAL SURFACE OF GYP BD BULKHEADS TO MATCH HORIZONTAL SURFACE FINISH AS INDICATED ON REFLECTED CEILING PLAN.
- PROVIDE ADA COMPLIANT TRANSITION STRIPS WHERE DIFFERENT FLOOR MATERIALS MEET PER TYPICAL TRANSITION STRIP DETAILS. FLOOR FINISH SHOULD EXTEND UNDER ALL FURNITURE AND CASEWORK. ALL FLOORING TRANSITIONS SHALL OCCUR AT CENTERLINE OF DOORS OR CENTER OF WALL OPENS, U.O.N. TRANSITION STRIPS TO MATCH HEIGHT OF ADJACENT FLOORING FINISH.
- TOE KICK AT ALL BASE CABINETS TO BE BLACK PLAM.

FLOOR TRANSITION



FLOOR PLAN NOTES

- PLAN NOTES:**
- ALL ENCLOSED ROOMS TO HAVE ACP @ 8'-6" AFF
 - BREAK/ANTE - EXPOSED TO DECK
 - AD ALTS:
 - OPEN OFFICE EXPOSED TO DECK WITH DROPPED ACP
 - ST-001 @ BOARDROOM COUNTERTOP; IN LIEU OF PLASTIC LAMINATE
 - ST-001 BACK SPLASH @ BREAK, LENGTH OF COUNTER UP TO BASE OF UPPER CABINETS (APPROX 18")
 - ALUMINUM FRAMES IN LIEU OF HOLLOW METAL FRAMES @ ALL DOORS
 - DEDUCT ALT:
 - PLAM-003 @ KITCHEN ISLAND; IN LIEU OF SOLID SURFACE MATERIAL

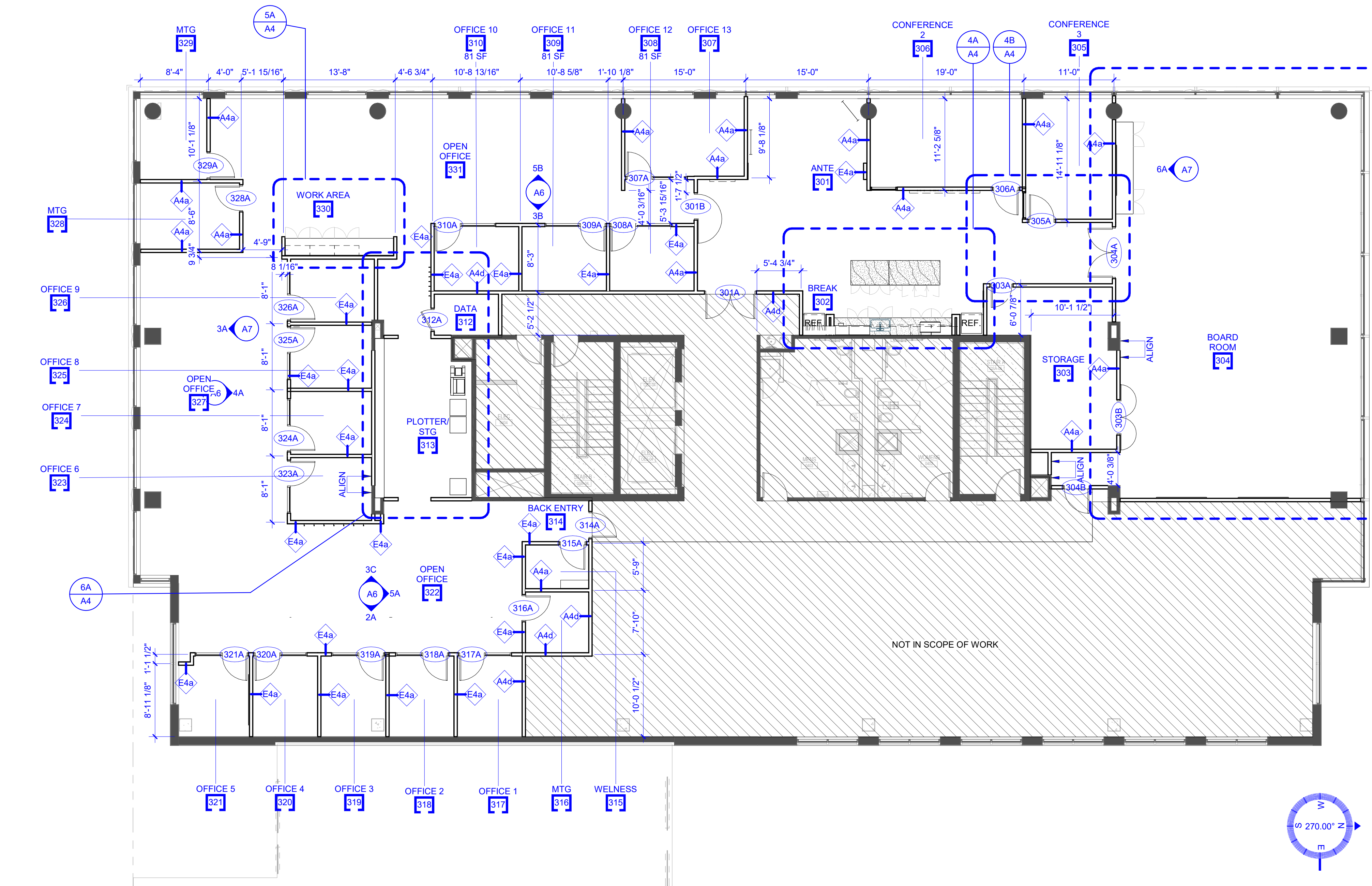
USABLE SQ. FT.:

Plan/RVA SPACE - 7,297 SF

VACANT SPACE - 2,353 SF

4C 3RD FLOOR FINISH PLAN

SCALE: 1/8" = 1'-0"



4A 3RD FLOOR FLOOR PLAN

SCALE: 1/8" = 1'-0"

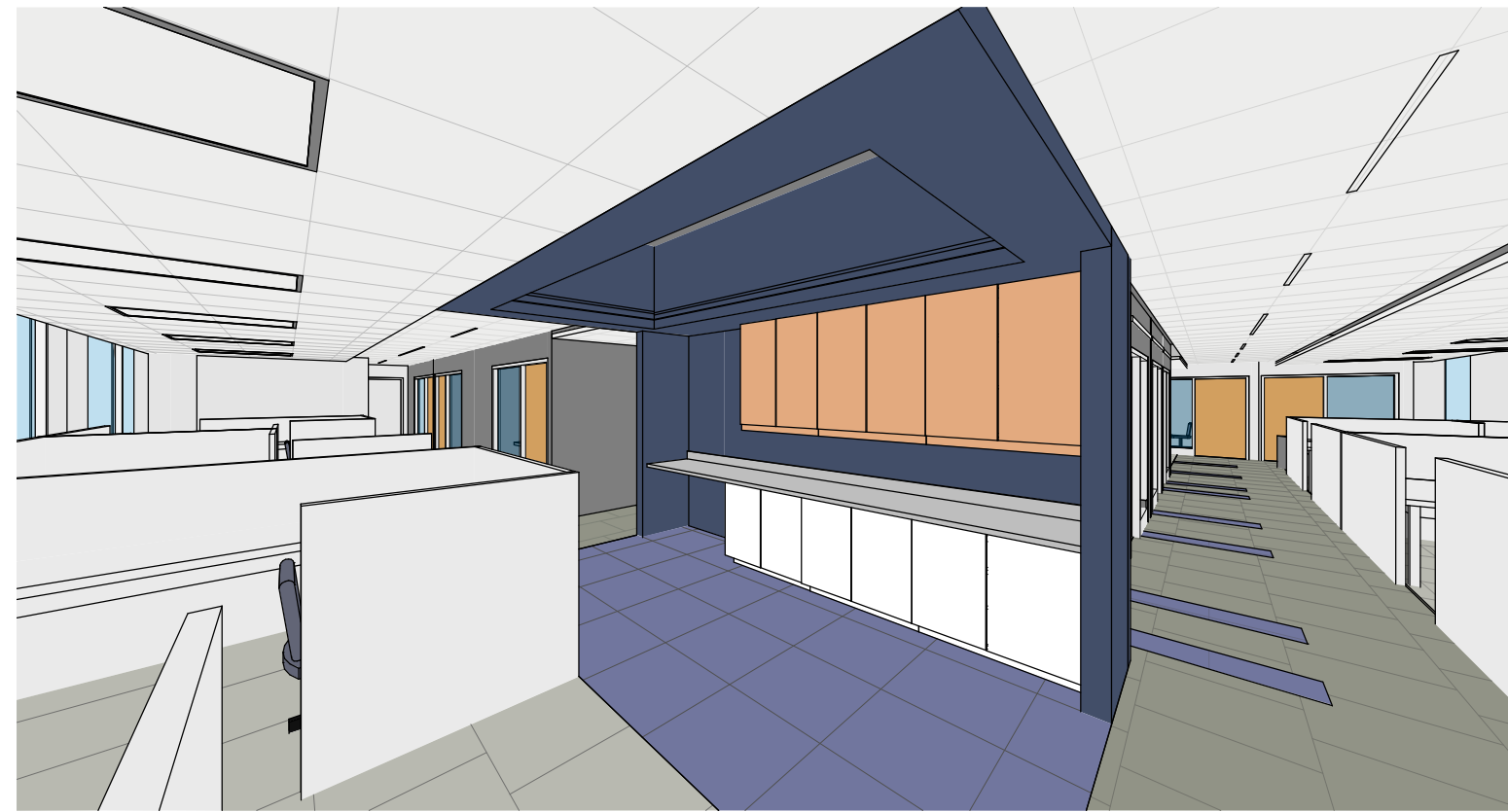


ACT BOH - AD ALT

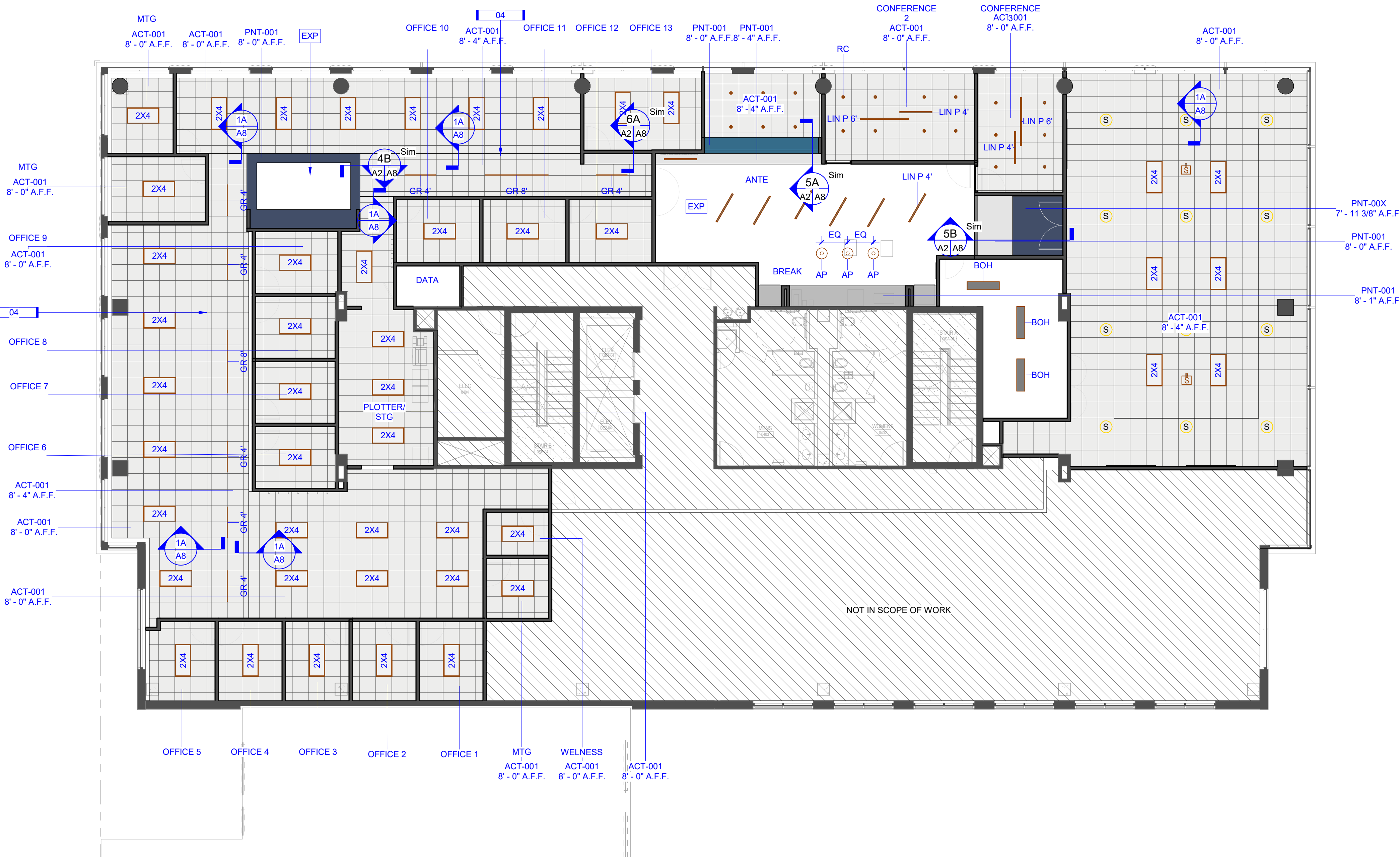


4C 3RD FLOOR - REFLECTED CEILING PLAN - AD ALT

SCALE: 1/8"=1'-0"



ACT BOH



REFLECTED CEILING PLAN

- | | | |
|---|---|--------------------------|
| GRID MOUNT LIGHT FIXTURE
GR-4 / GR-8
BASIS OF DESIGN: ARCLUX TB TBAR | 2X2' LIGHT FIXTURE
BASIS OF DESIGN: DAY BRITE 2FGX SIGNIFY
CFI GLUX GRID GEN 2 RECESSED | SPRINKLER |
| LINEAR LED PENDANT
LIN P 6' / LIN P 4'
BASIS OF DESIGN: AMERICAN
LINEAR LIGHTING 2SID SUSPENDED
DIRECT INDIRECT | 2X4' LIGHT FIXTURE
BASIS OF DESIGN: DAY BRITE 2FGX SIGNIFY
CFI GLUX GRID GEN 2 RECESSED | SECURITY CAMERA |
| EMERGENCY WALL MOUNTED
LIGHT FIXTURE
WITH BATTERY BACKUP - REFER
TO ELEC. | RECESSED CAN LIGHT FIXTURE
RC
BASIS OF DESIGN: LIGHTOLIER Z6RDL 6" ROUND | FLUSH MOUNTED PA SPEAKER |
| EXIT SIGN | STRIP FLUORESCENT LIGHT FIXTURE
BOH
BASIS OF DESIGN: DAY BRITE FSS
FLUXSTREAM STRIP | EXHAUST GRILLE |
| | PENDANT LIGHT FIXTURE
AP
BASIS OF DESIGN: ZAILLEY 9.5"
KICHLER 52176BK | RETURN GRILLE |
| | | SUPPLY DIFFUSER |
| | | SUSPENDED CEILING SYSTEM |

4A 3RD FLOOR - REFLECTED CEILING PLAN

SCALE: 1/8"=1'-0"

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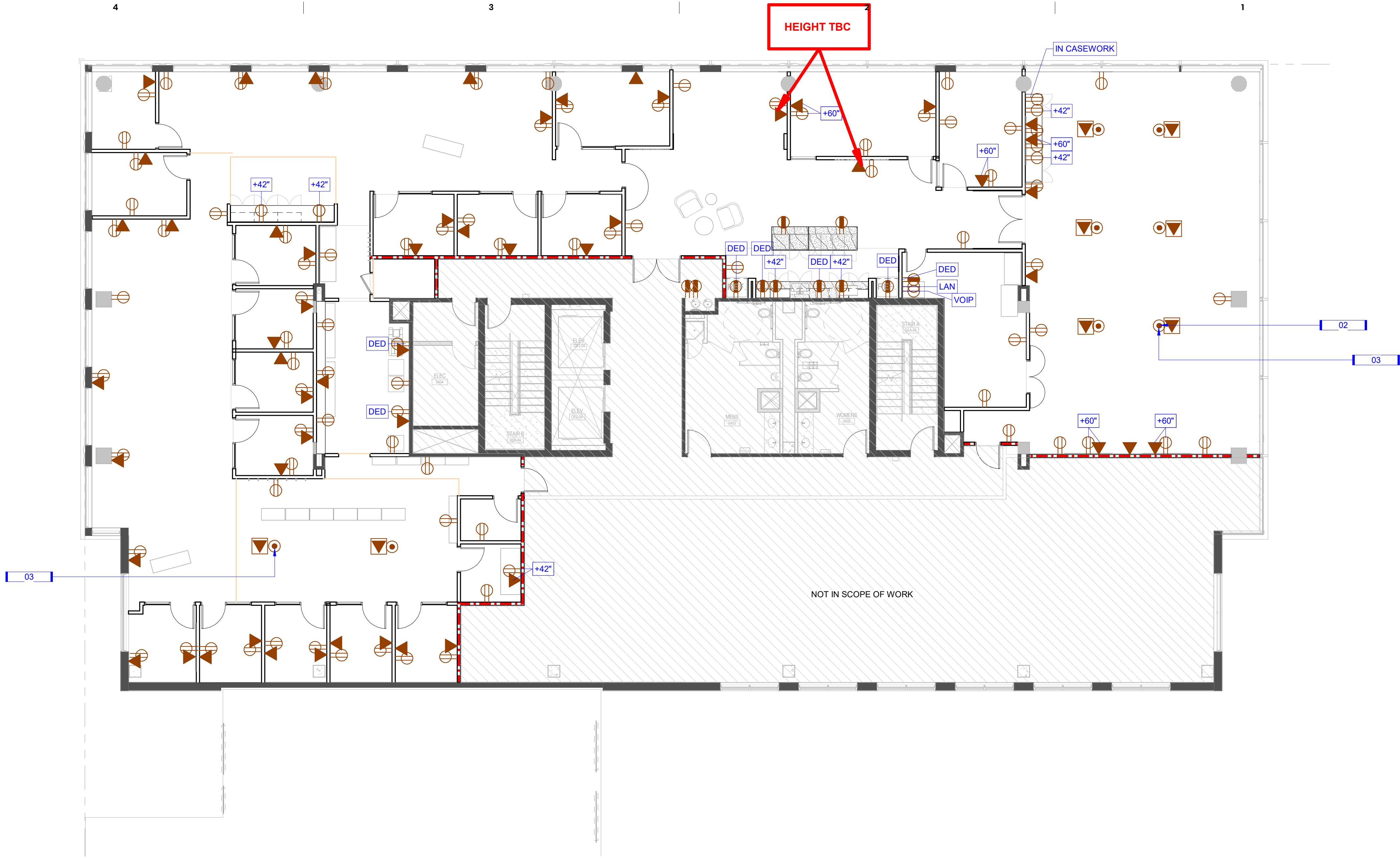
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RCPS
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KEYNOTES

02 FLOOR BOX SPEC
03 FLOOR BOXES TO BE FIELD LOCATED + APPROVED BY OWNER PRIOR TO
CORE DRILLING/INSTALL, TYP



4C 3RD FLOOR POWER PLAN

SCALE: 1/8" = 1'-0"



4A 3RD FLOOR - FURNITURE PLAN (FOR REFERENCE ONLY)

SCALE: 1/8" = 1'-0"

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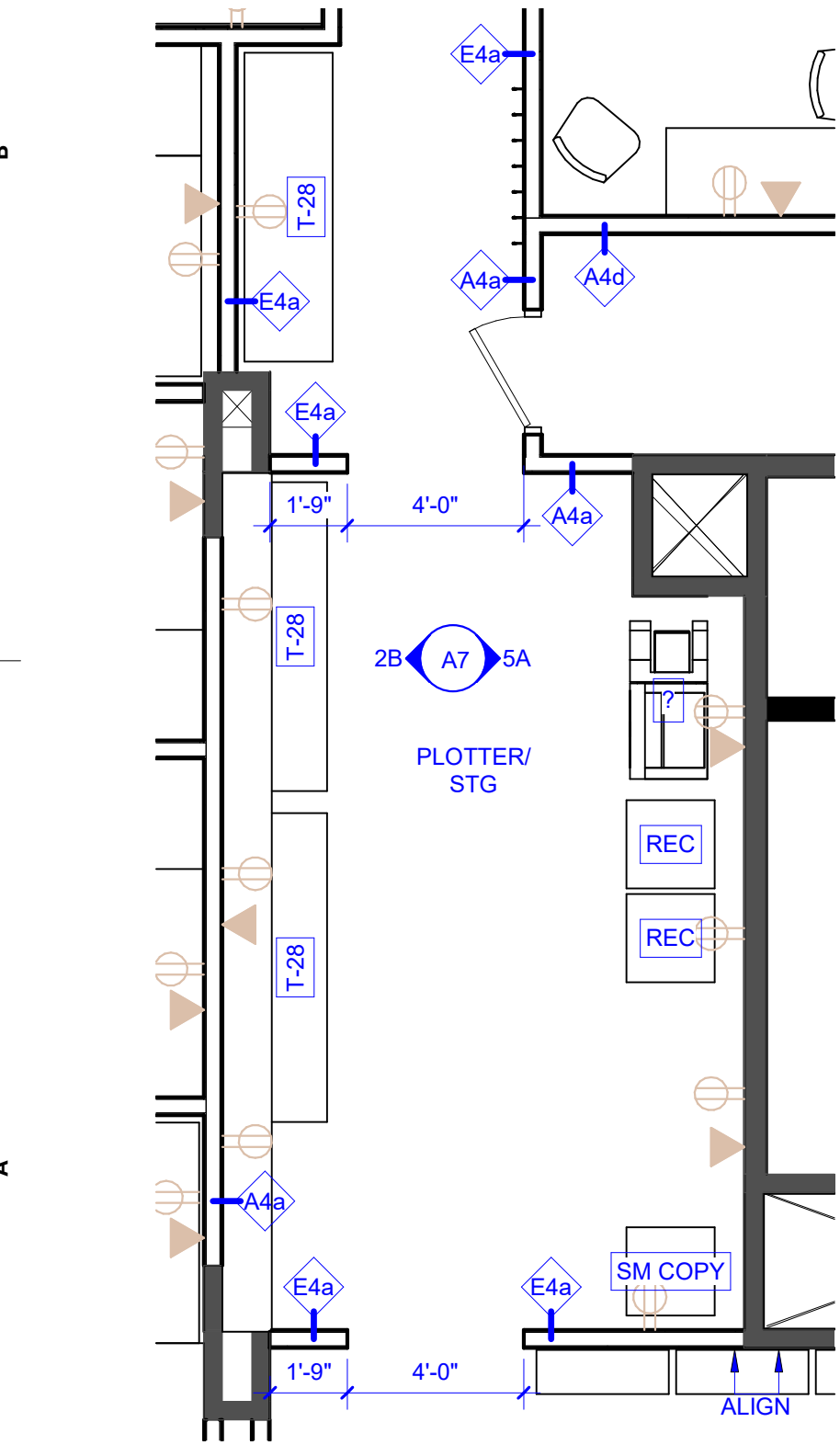
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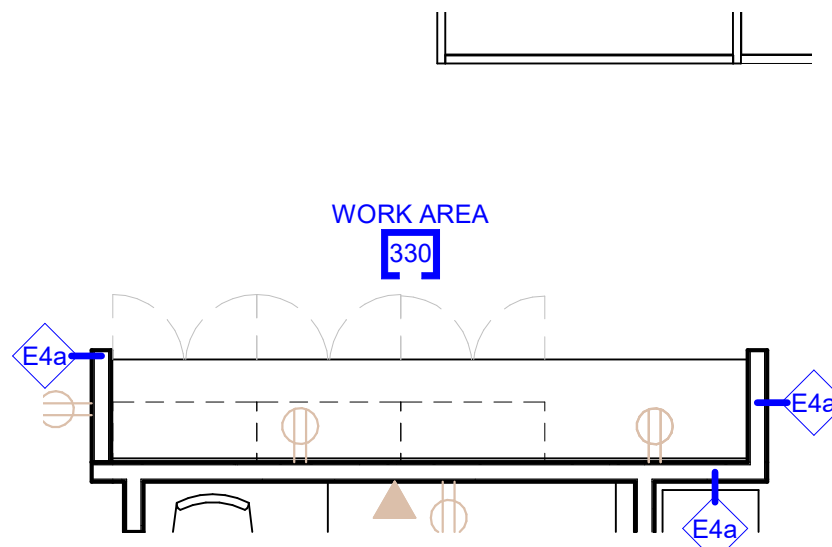
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FURNITURE + POWER PLAN

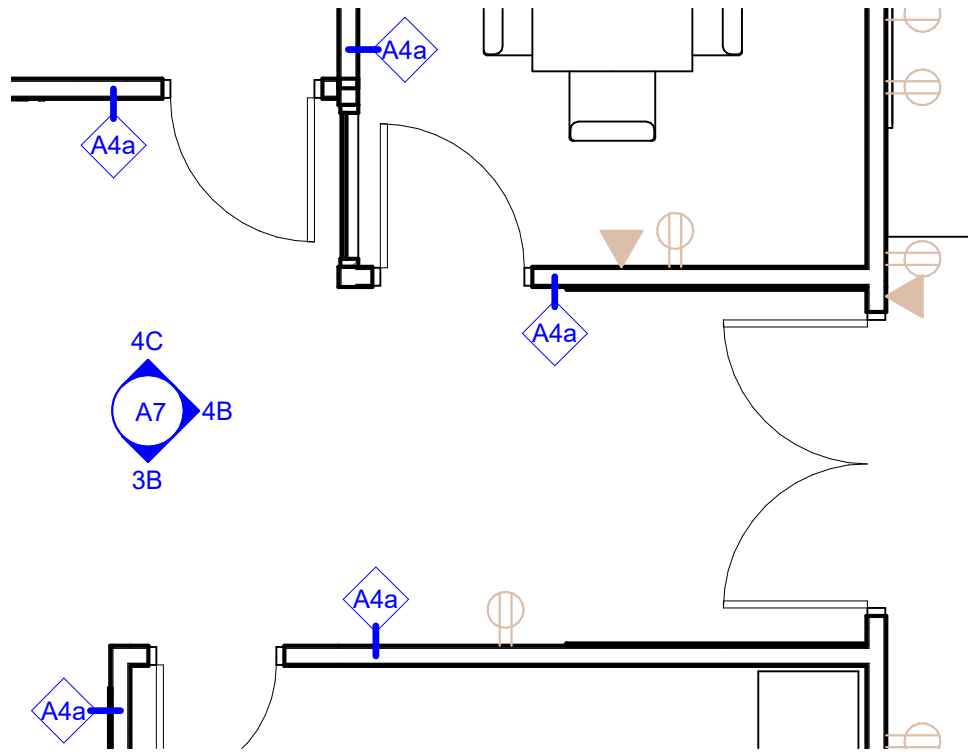
A3



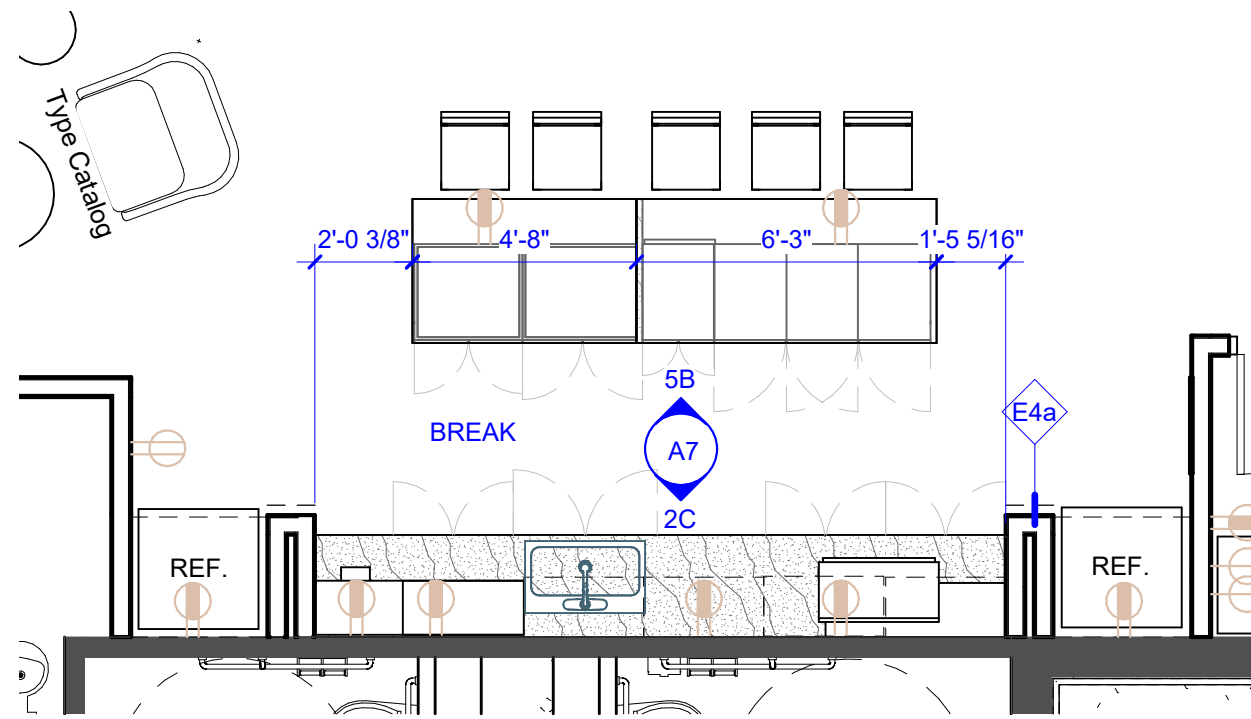
6A ENLARGED FLOOR PLAN – PLOTTER / STG ROOM
SCALE: 1/4" = 1'-0" DRAWING REF: A1



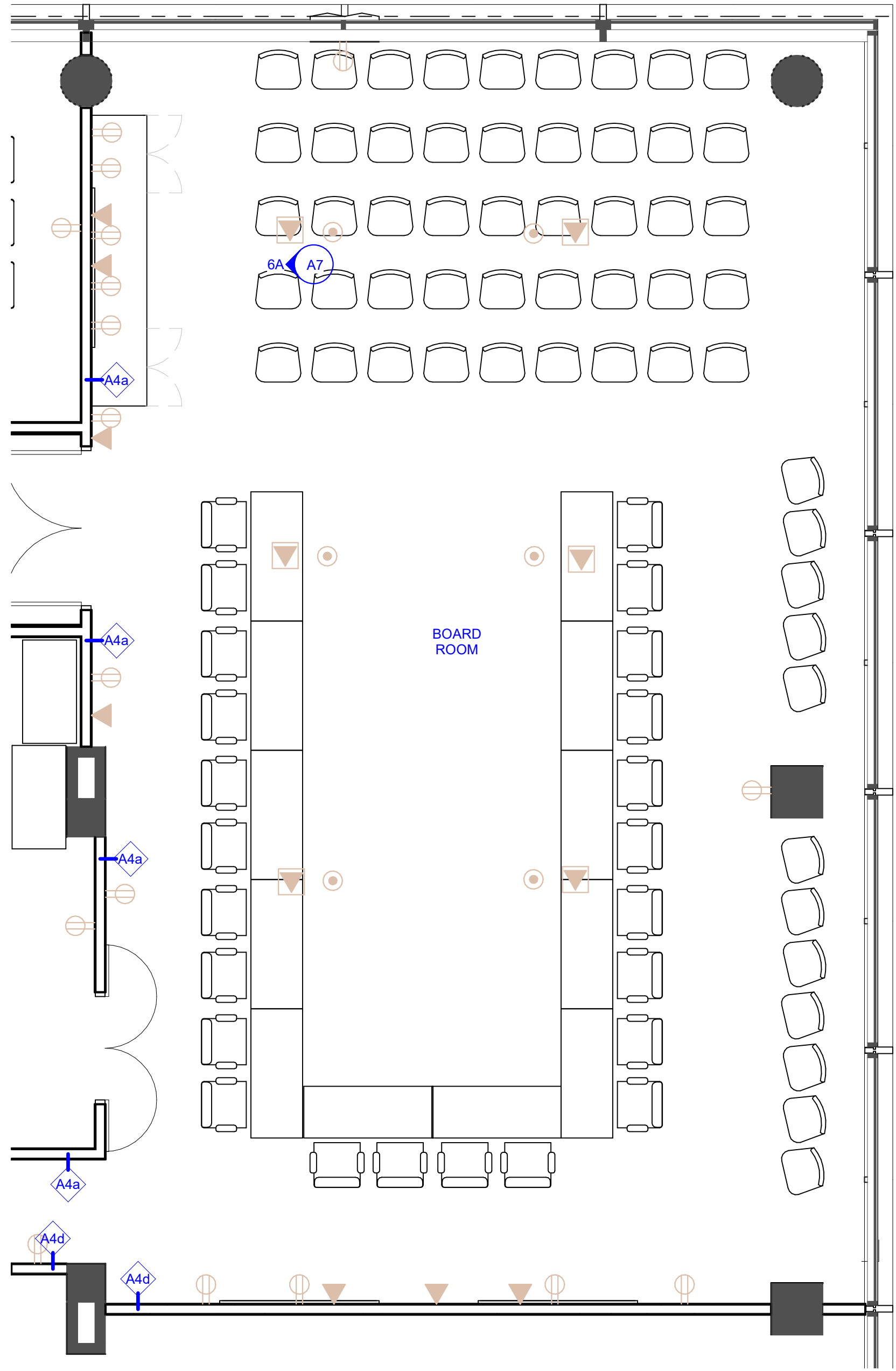
5A ENLARGED FLOOR PLAN – SUPPLIES
SCALE: 1/4" = 1'-0" DRAWING REF: A1



4B ENLARGED FLOOR PLAN – BOARD ROOM ENTRY
SCALE: 1/4" = 1'-0" DRAWING REF: A1



4A ENLARGED FLOOR PLAN – BREAK ROOM
SCALE: 1/4" = 1'-0" DRAWING REF: A1



2A ENLARGED FLOOR PLAN – BOARD ROOM
SCALE: 1/4" = 1'-0" DRAWING REF: A1

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ENLARGED PLANS

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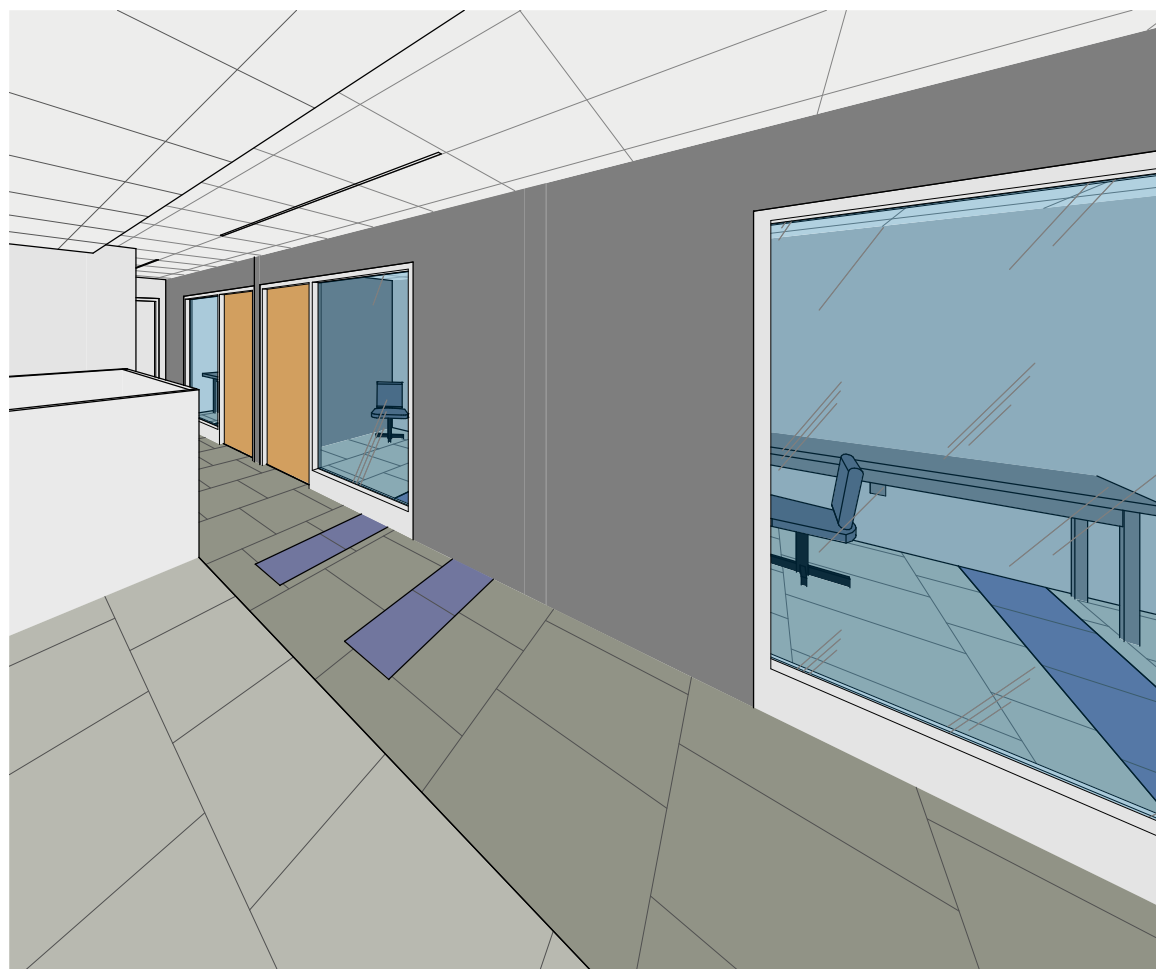


3D VIEW – BOH MAIN ENTRY

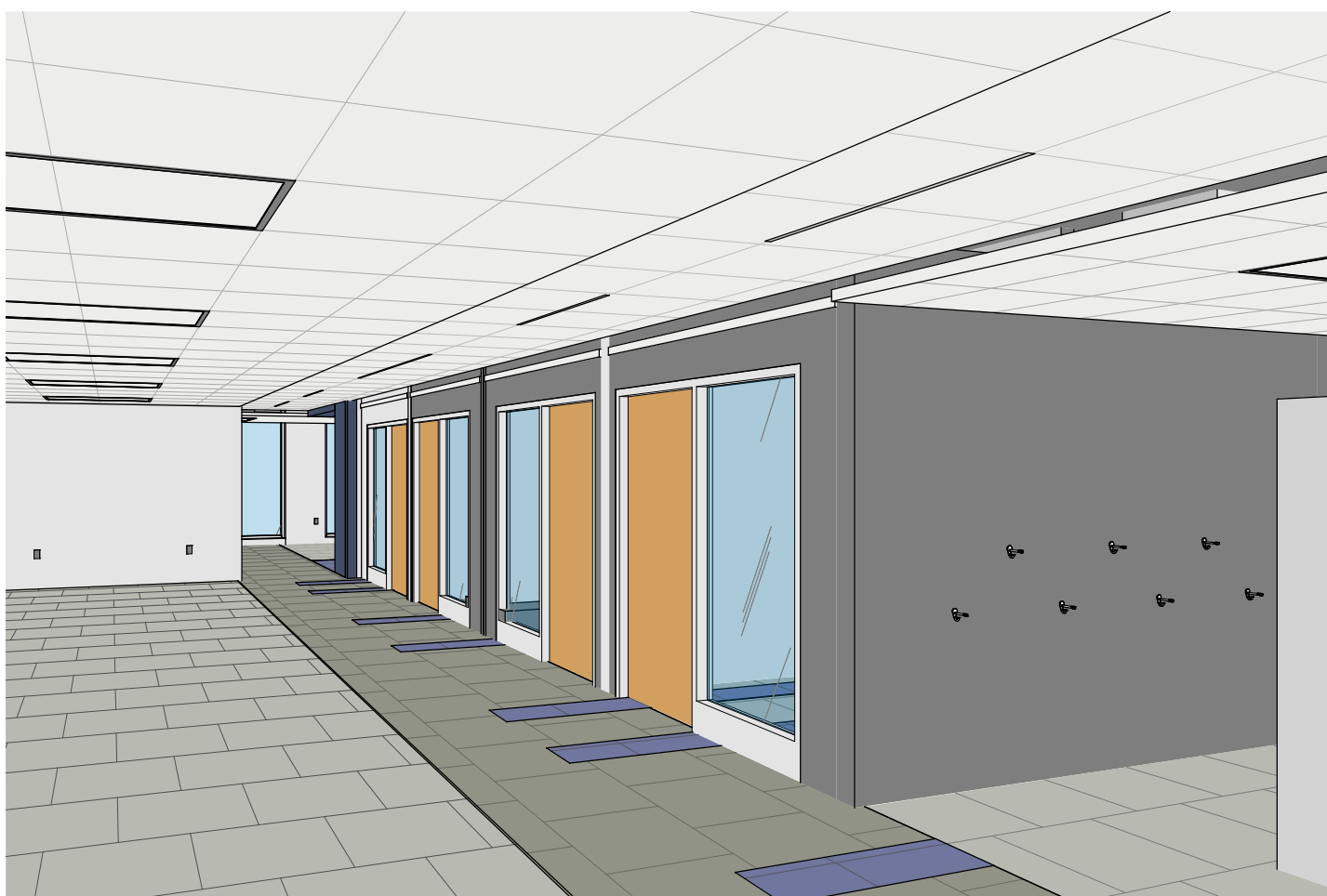
3D VIEW - FUTURE WORKSTATION AREA (INTERNS)



3D VIEW - OFFICES 1- 5



3D VIEW OFFICES 10 – 12



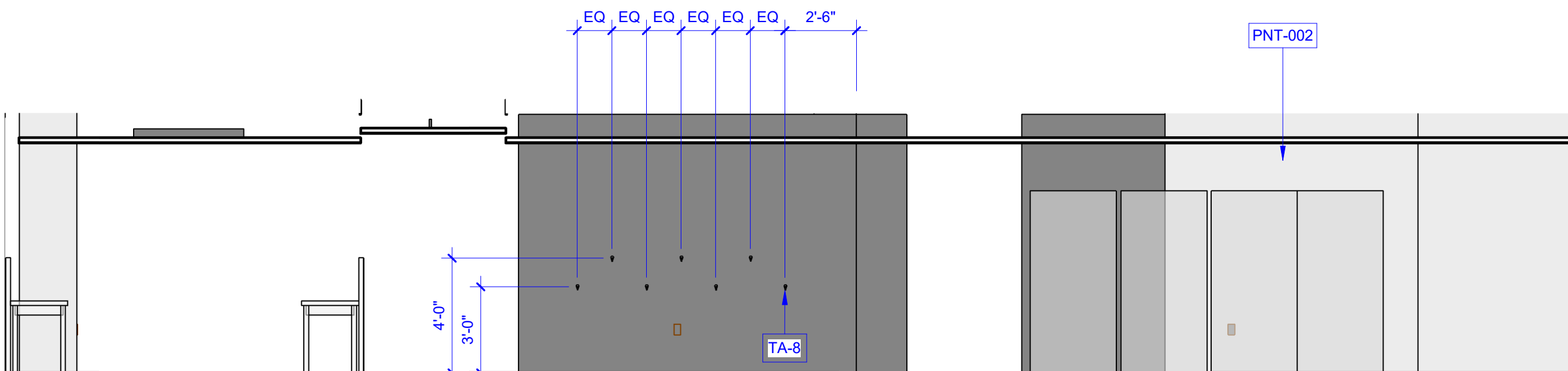
3D VIEW - OFFICES 6 - 9



3D VIEW – BOARDROOM CASEWORK

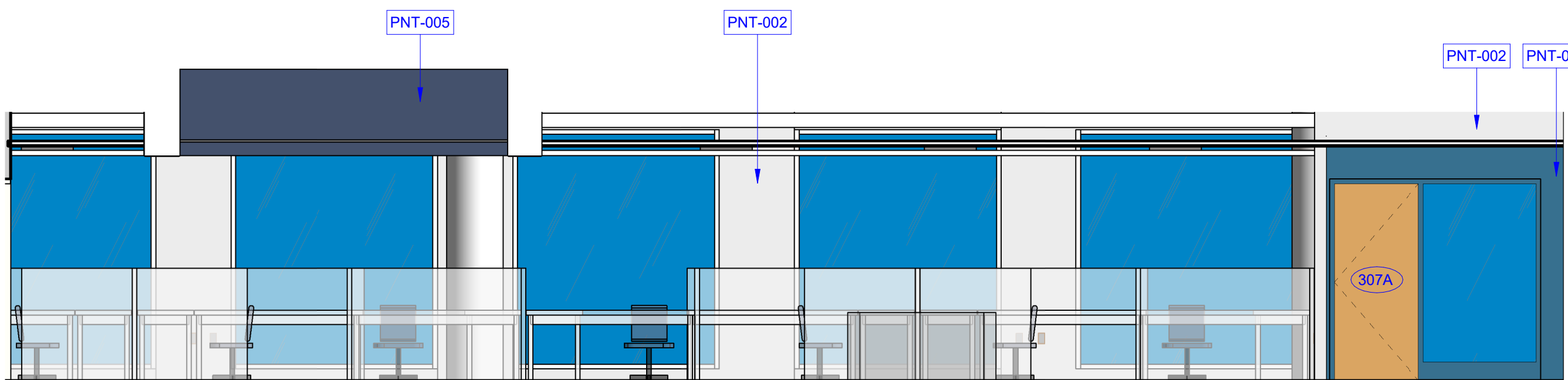


3D VIEW - BOARDROOM HEAD WALL



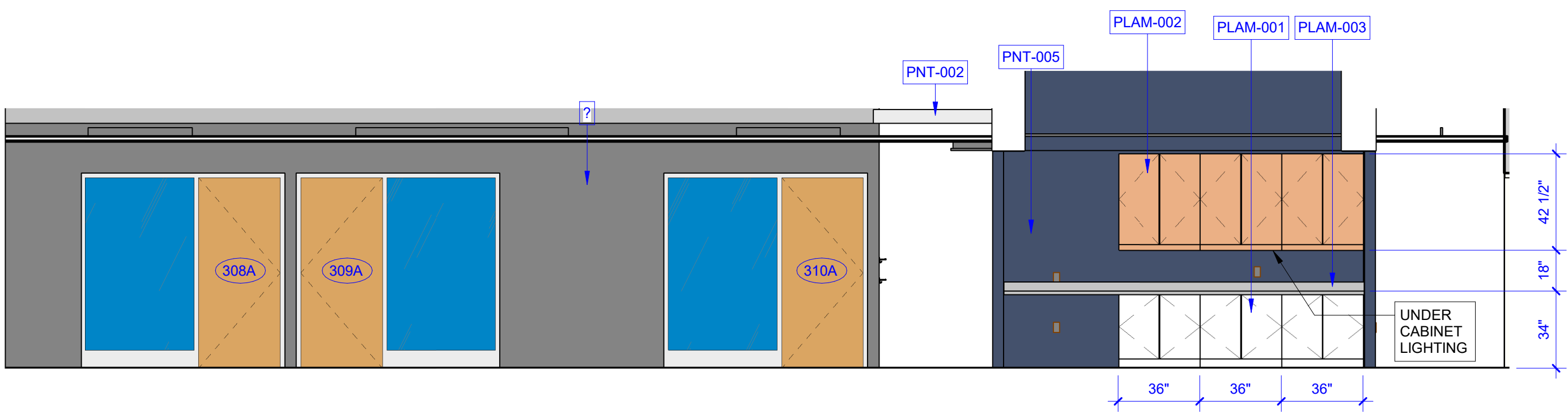
3C ELEV – OPEN OFFICE

SCALE: 1/4"=1'-0" DRAWING REF: A



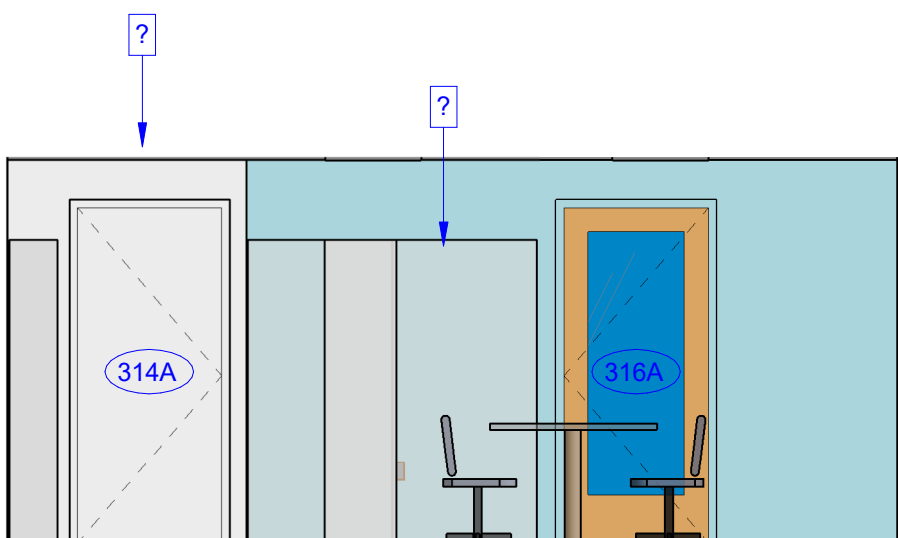
5B ELEV - OFFICE 13 + OPEN WORK AREA

SCALE: 1/4" = 1'-0" DRAWING REF: A



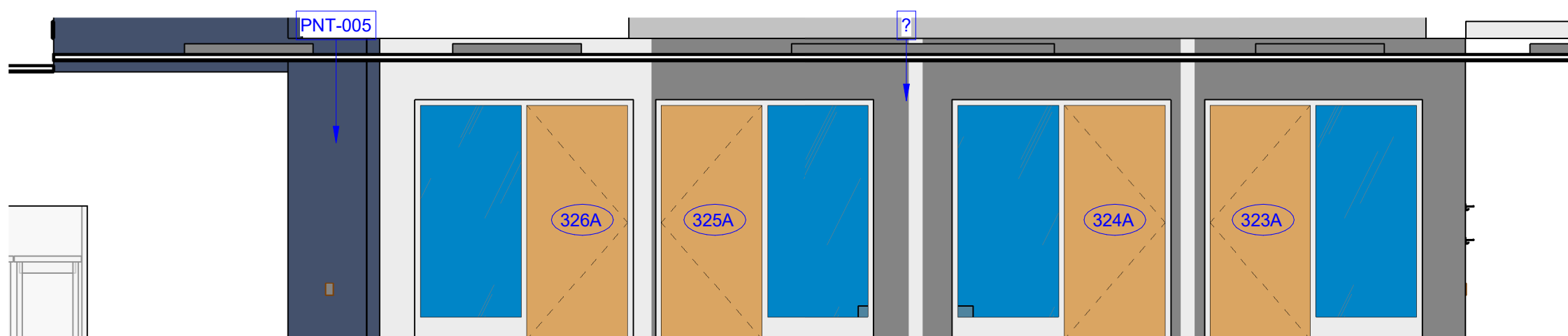
3B ELEV – OFFICES 10-12

SCALE: 1/4" = 1'-0" DRAWING REF: A1



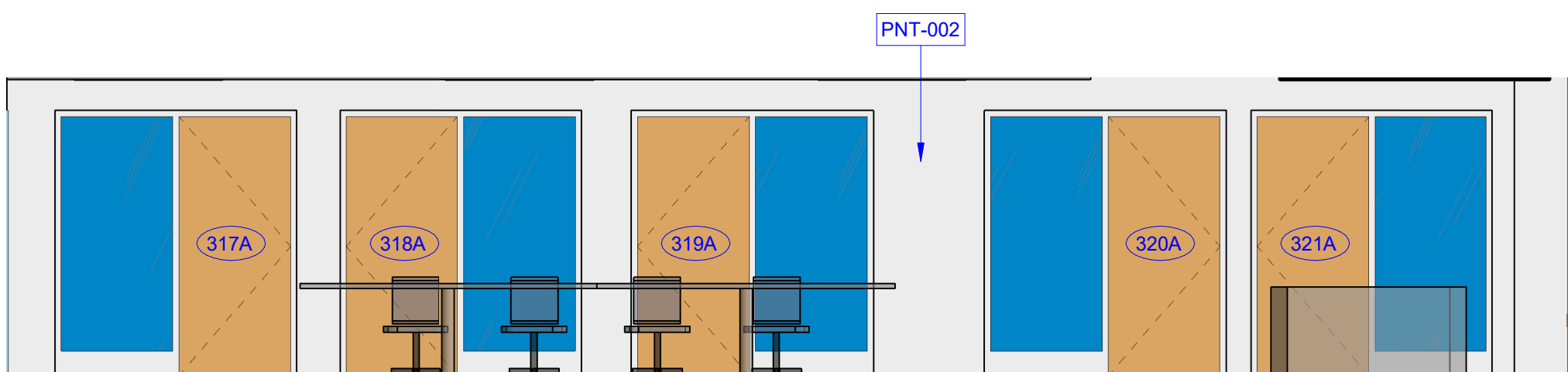
5A ELEV - MEETING + BACK OF HOUSE ENTRY

SCALE: 1/4" = 1'-0" DRAWING REF: A



4A ELEV – OFFICES 6-9

SCALE: 1/4" = 1'-0" DRAWING REF: A1



2A ELEV – OFFICES 1- 5

SCALE: 1/4"=1'-0" DRAWING REF: A1

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ELEVATIONS

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KEYNOTES

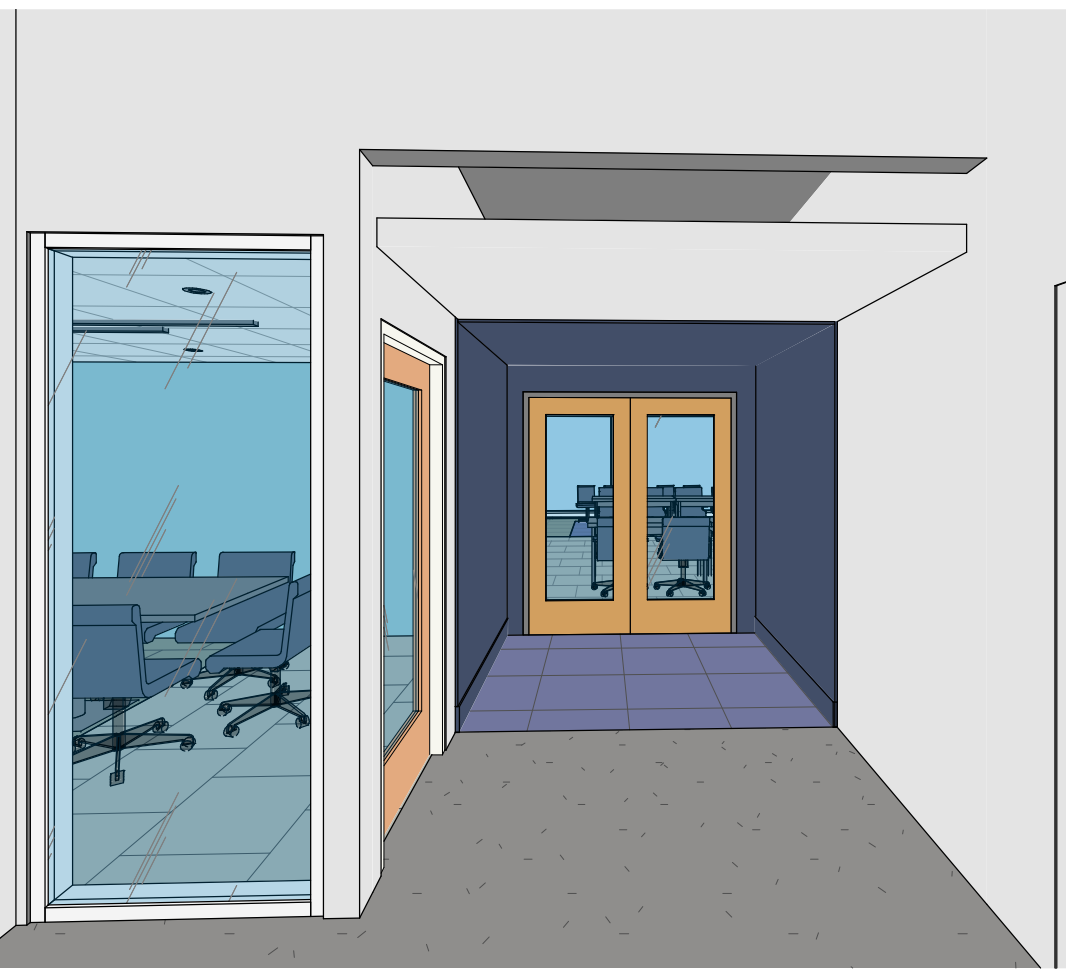
- 01 ADJUSTABLE SHELVING ON STANDARDS BRACKETS; MDF
06 J-BEAD
09 SIGNAGE BY OTHER



3D VIEW - ENTRY



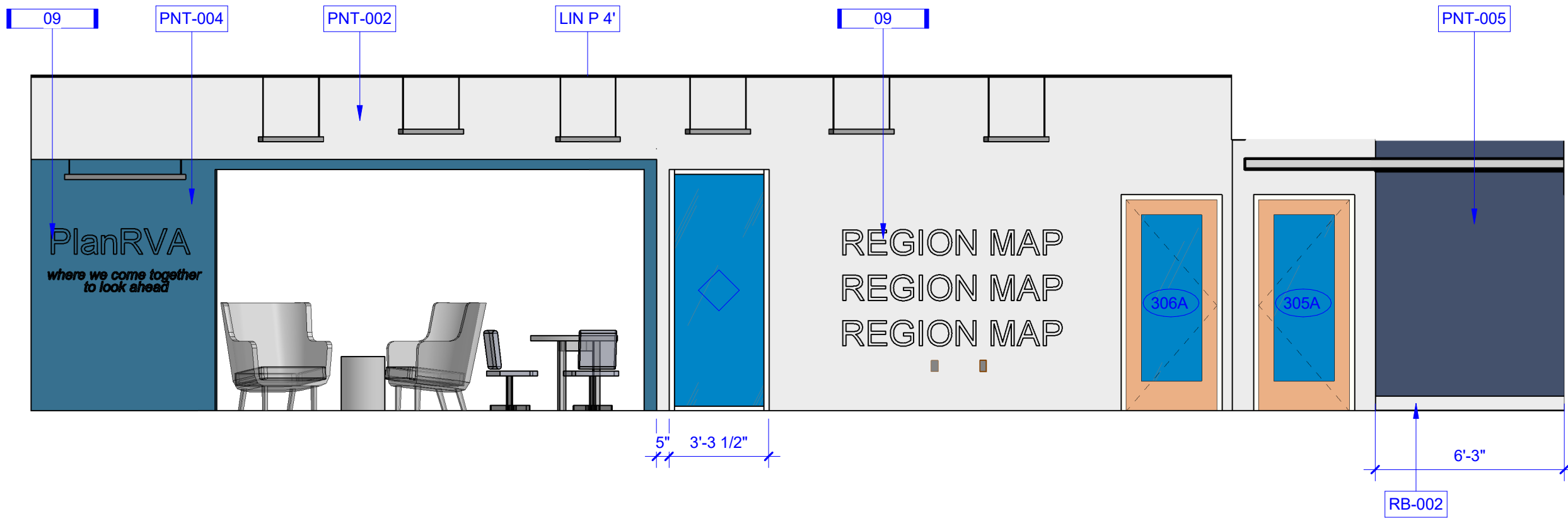
3D VIEW - BREAK CASEWORK



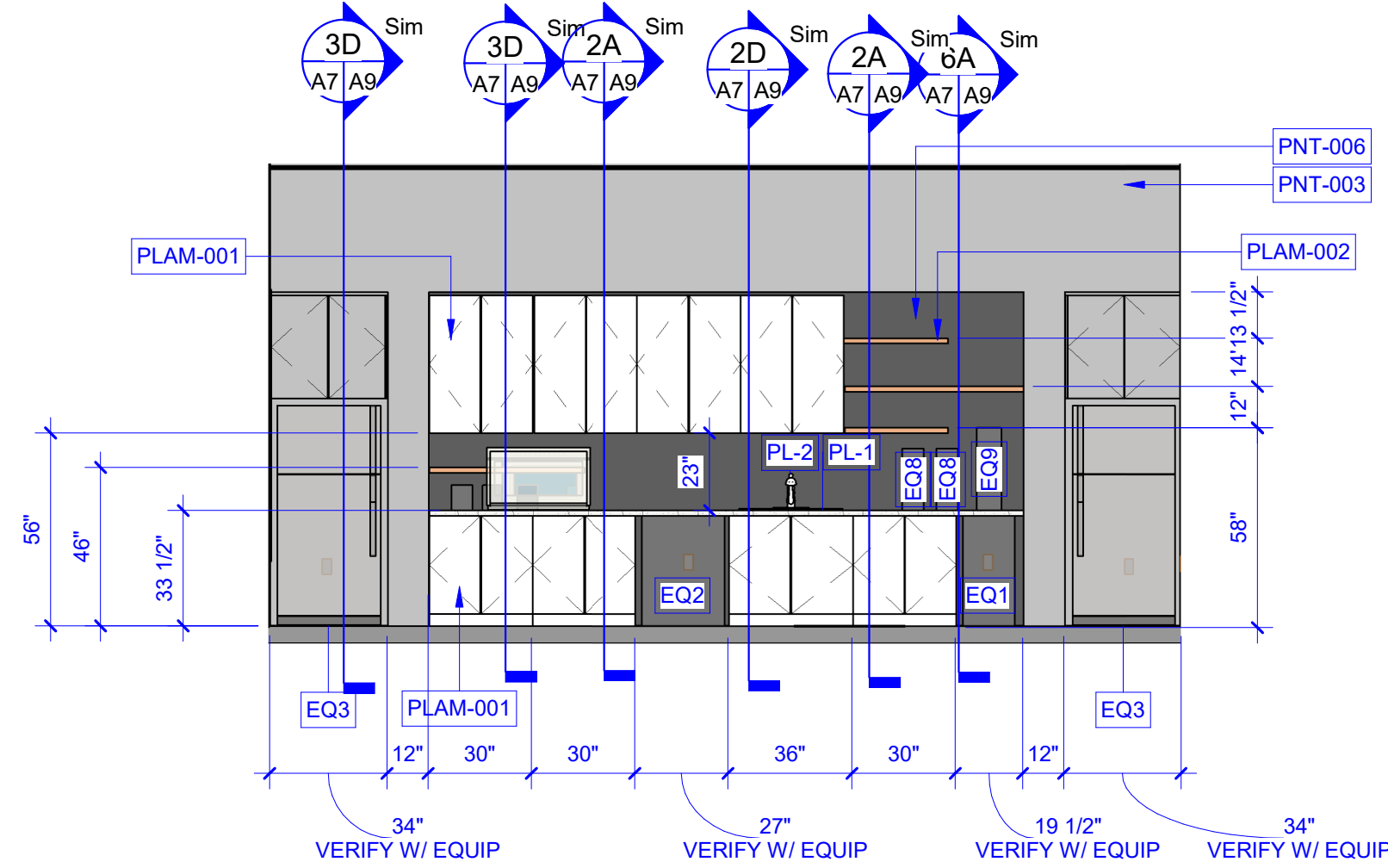
3D VIEW - BOARDROOM "PORTAL"



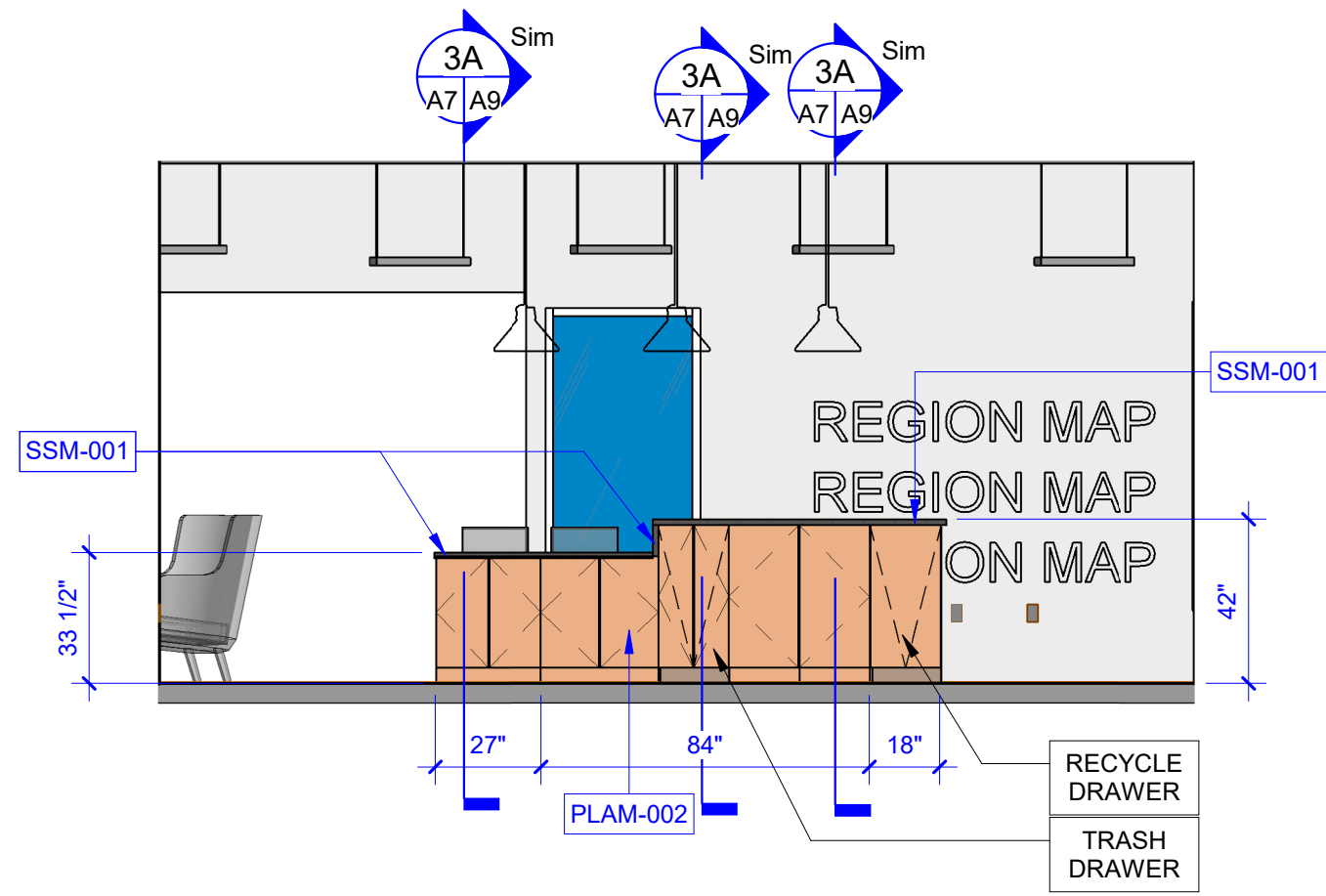
3D VIEW - BREAK



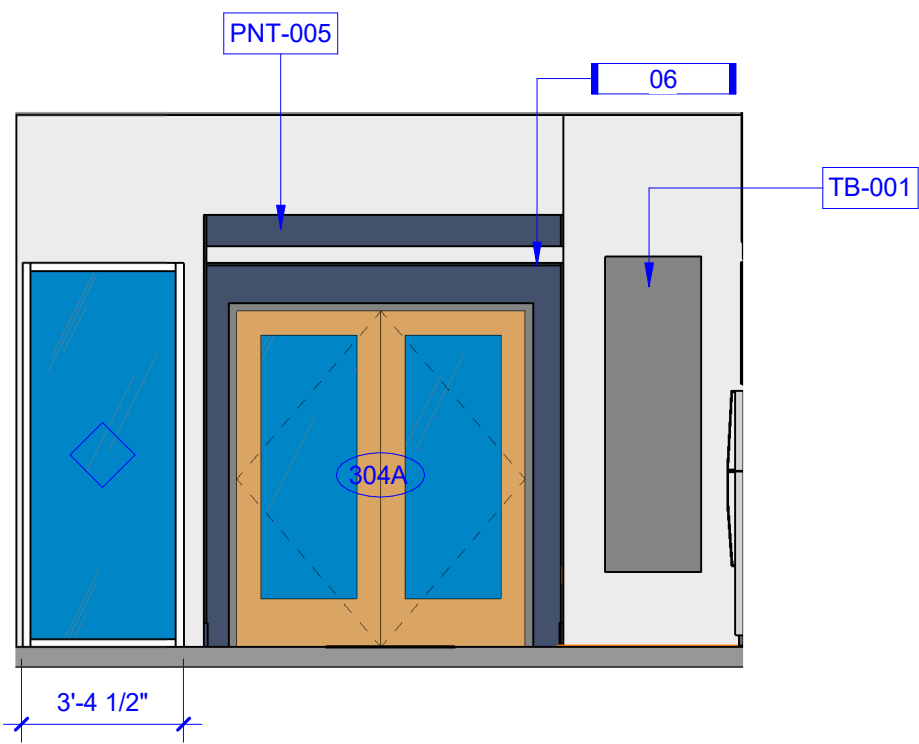
4C ELEV - MAIN ENTRY
SCALE: 1/4" = 1'-0" DRAWING REF: A1



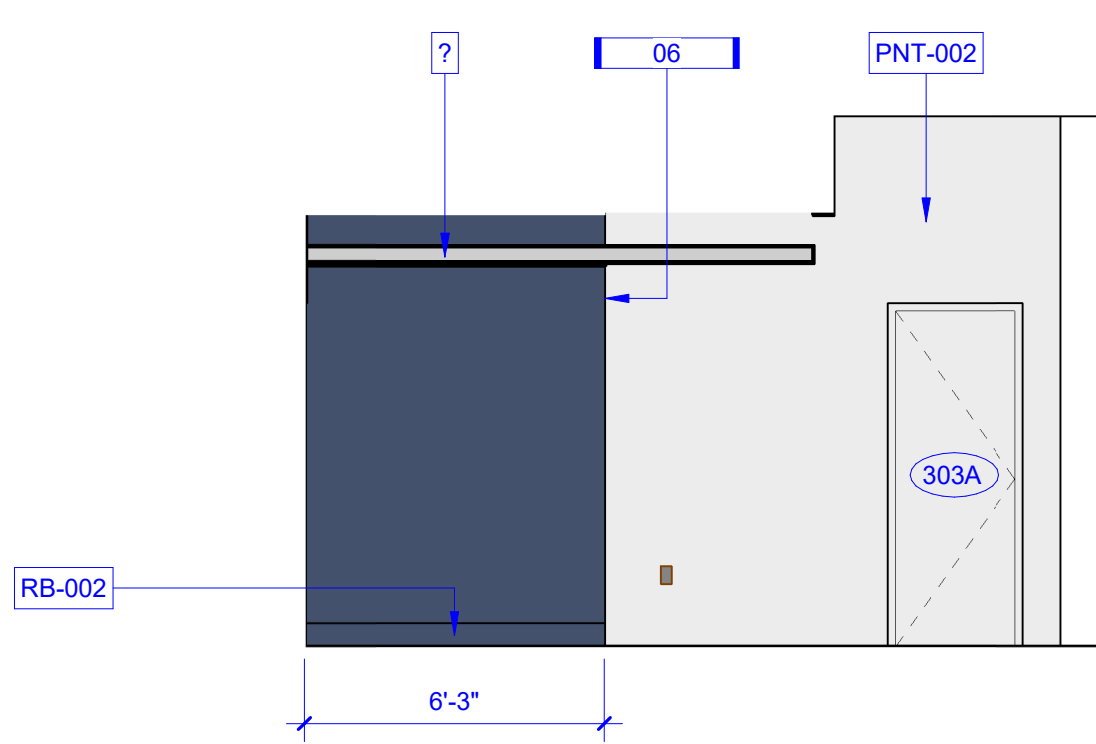
2C ELEV - BREAK WEST
SCALE: 1/4" = 1'-0" DRAWING REF: A1



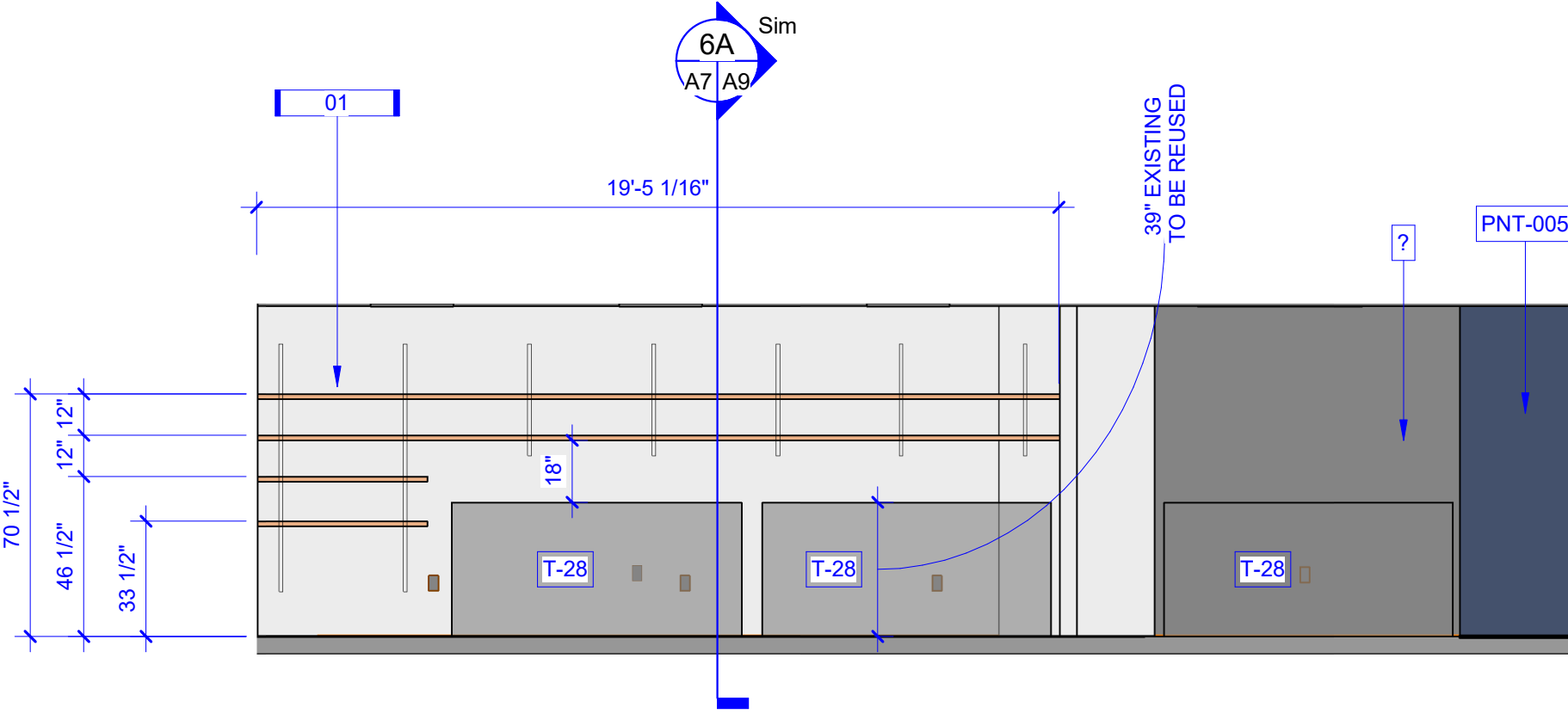
5B ELEV - BREAK EAST
SCALE: 1/4" = 1'-0" DRAWING REF: A1



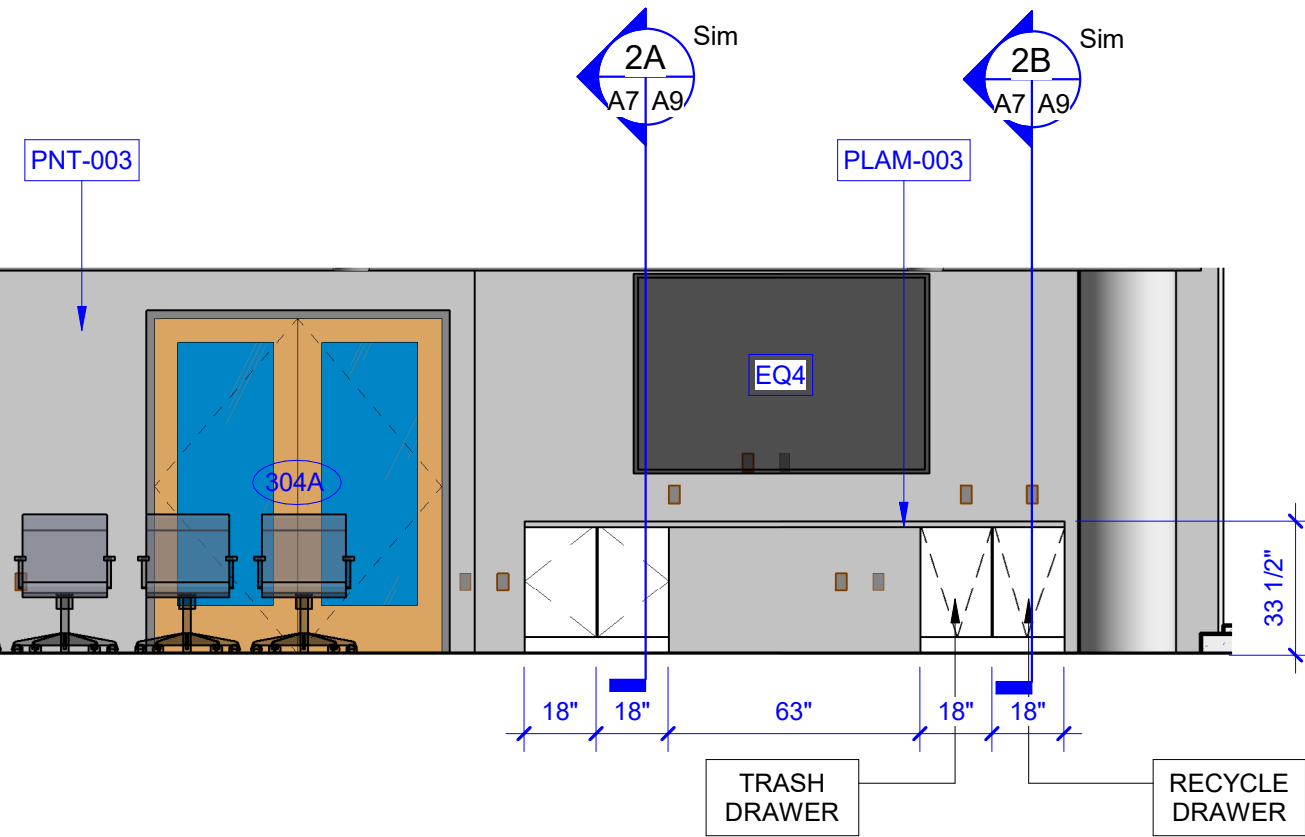
4B ELEV - ENTRY TO BOARDROOM
SCALE: 1/4" = 1'-0" DRAWING REF: A1



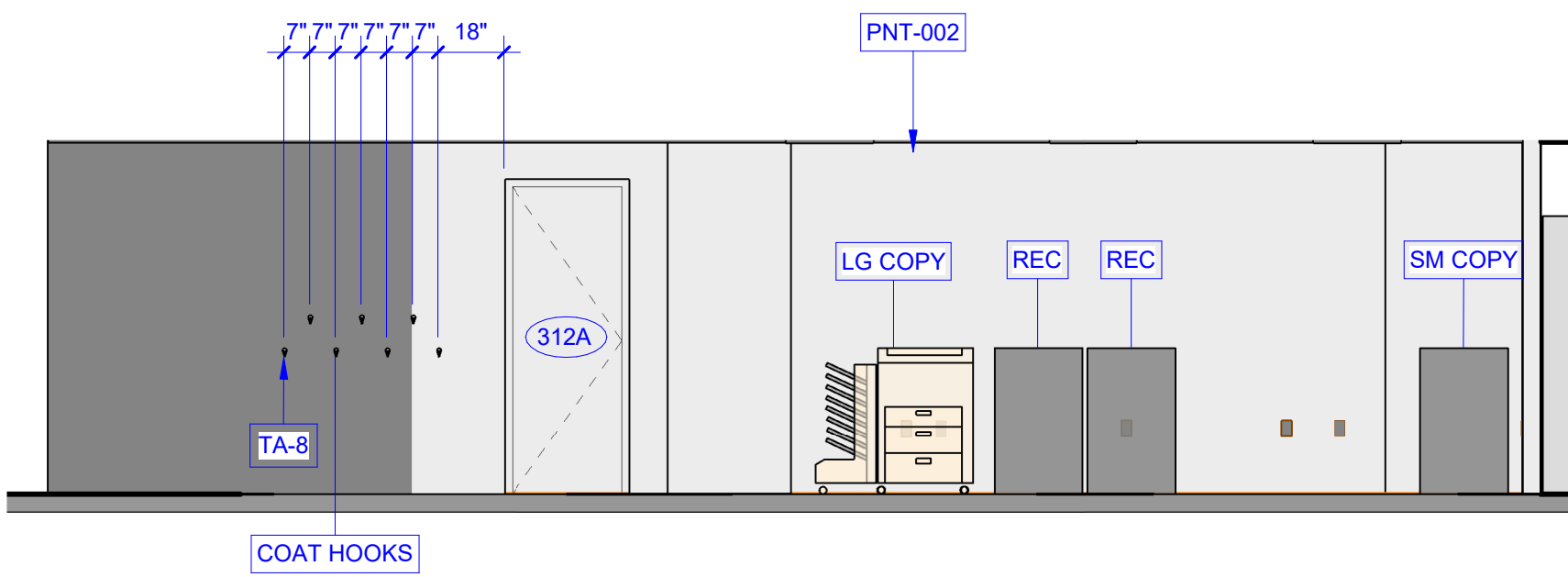
3B ELEV - ENTRY TO BOARDROOM SIDE
SCALE: 1/4" = 1'-0" DRAWING REF: A1



2B ELEV - PLOTTER / STORAGE SOUTH
SCALE: 1/4" = 1'-0" DRAWING REF: A1



6A Elevation 2 - α
SCALE: 1/4" = 1'-0" DRAWING REF: A1



5A ELEV - PLOTTER / STORAGE NORTH
SCALE: 1/4" = 1'-0" DRAWING REF: A1



3A ELEV - MEETING + OPEN WORK AREA
SCALE: 1/4" = 1'-0" DRAWING REF: A1

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ELEVATIONS
A7

AD ALTERNATE NOTES

- GLASS WALLS
1. BASE BID: PRIMARY DESIGN BASED OFF OF DEMOUNTABLE SYSTEM
2. DEDUCTIVE ALTERNATE: STOREFRONT SYSTEM
3. DEDUCTIVE ALTERNATE: HOLLOW METAL SYSTEM
- LIGHTING AT HELP DESK
1. BASE BID: PERIMETER LIGHTING SURROUNDING SOFFITS
2. AD ALTERNATE: STRETCHED LIGHTING: BOD - BARRISOL LIGHT
- DOORS
1. BASE BID: SLIDING GLASS DOORS AT OFFICES + HUDDLE ROOMS
2. DEDUCTIVE ALTERNATE: SWINGING SOLID WOOD DOOR
- CARPET
1. BASE BID: MATERIALS WITHIN DRAWING SET
2. DEDUCTIVE ALTERNATIVE: CARPET AT INSTALLED PRICE OF \$30 PER SQUARE YARD

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CEILING DETAILS
A8

5B CEILING DETAIL - GPDW SOFFIT W/ 2 LAYERS OF GYP

SCALE: 1 1/2" = 1'-0" DRAWING REF: A2

4B CEILING DETAIL - GPDW HEADER

SCALE: 1 1/2" = 1'-0" DRAWING REF: A2

3B CEILING SOFFIT - GENERAL SOFFIT

SCALE: 1 1/2" = 1'-0" DRAWING REF: A2

1B REVEAL

SCALE: 6" = 1'-0"

6A CEILING DETAIL - GPDW SOFFIT

SCALE: 1 1/2" = 1'-0" DRAWING REF: A2

5A CEILING DETAIL - ENTRY SOFFIT

SCALE: 1 1/2" = 1'-0" DRAWING REF: A2

3A DETAIL - CEILING AT OPEN PLENUM

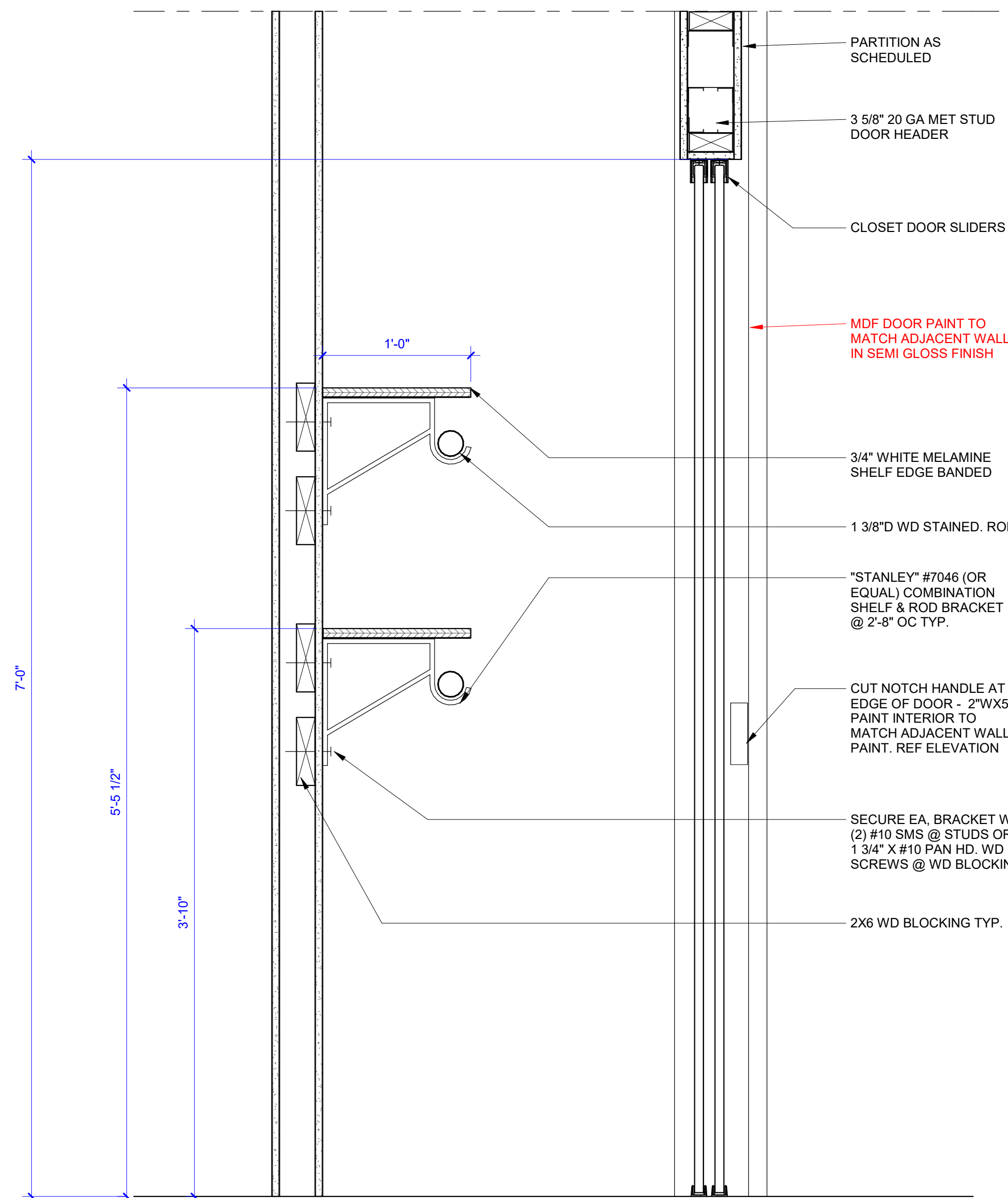
SCALE: 1 1/2" = 1'-0" DRAWING REF: A2

2A DETAIL - OFFICE GLASS PARTITION

SCALE: 1 1/2" = 1'-0"

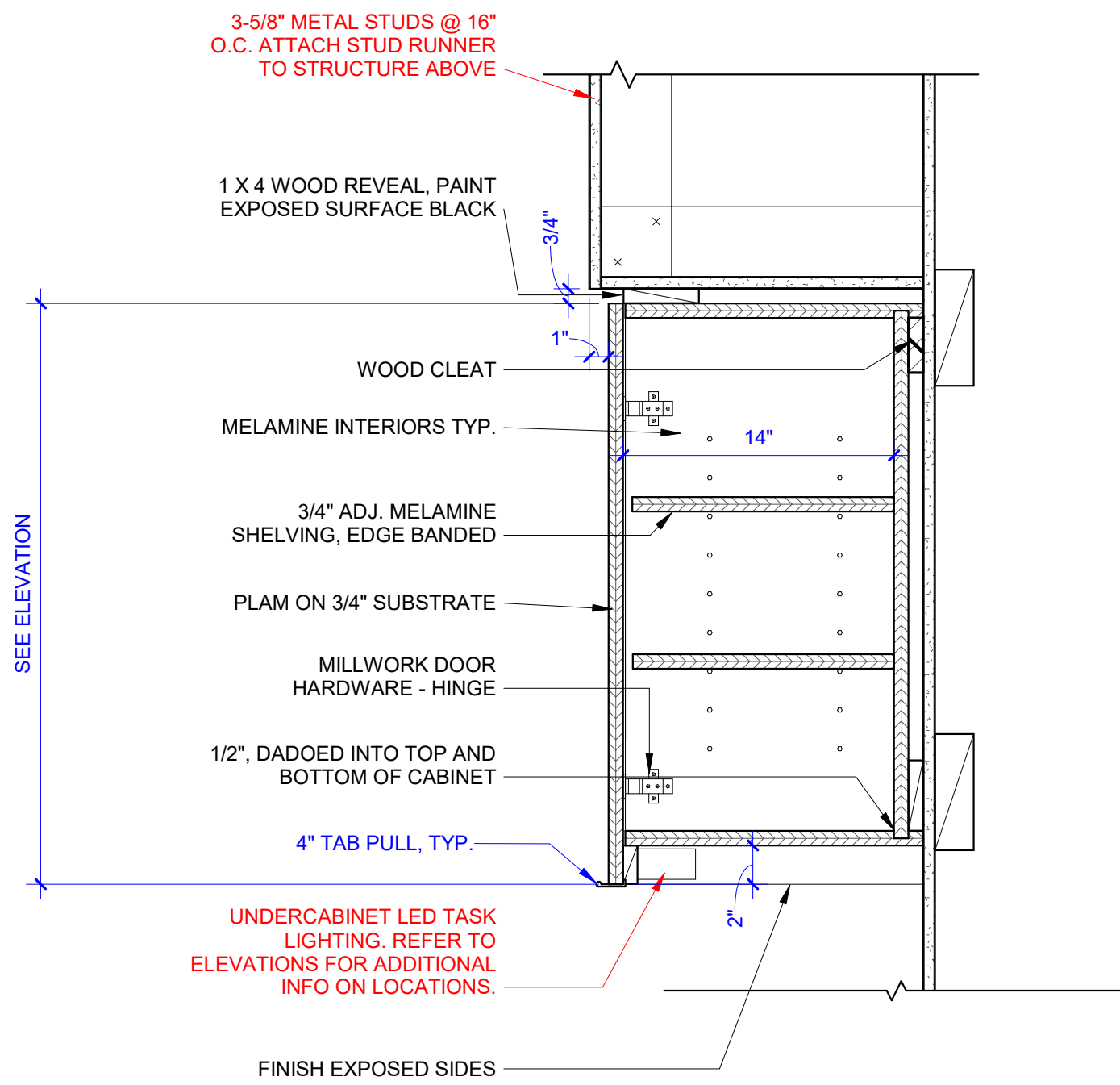
1A DETAIL - ACP TO ACP TRANSITION

SCALE: 1 1/2" = 1'-0" DRAWING REF: A2



5D DETAIL - COAT CLOSET

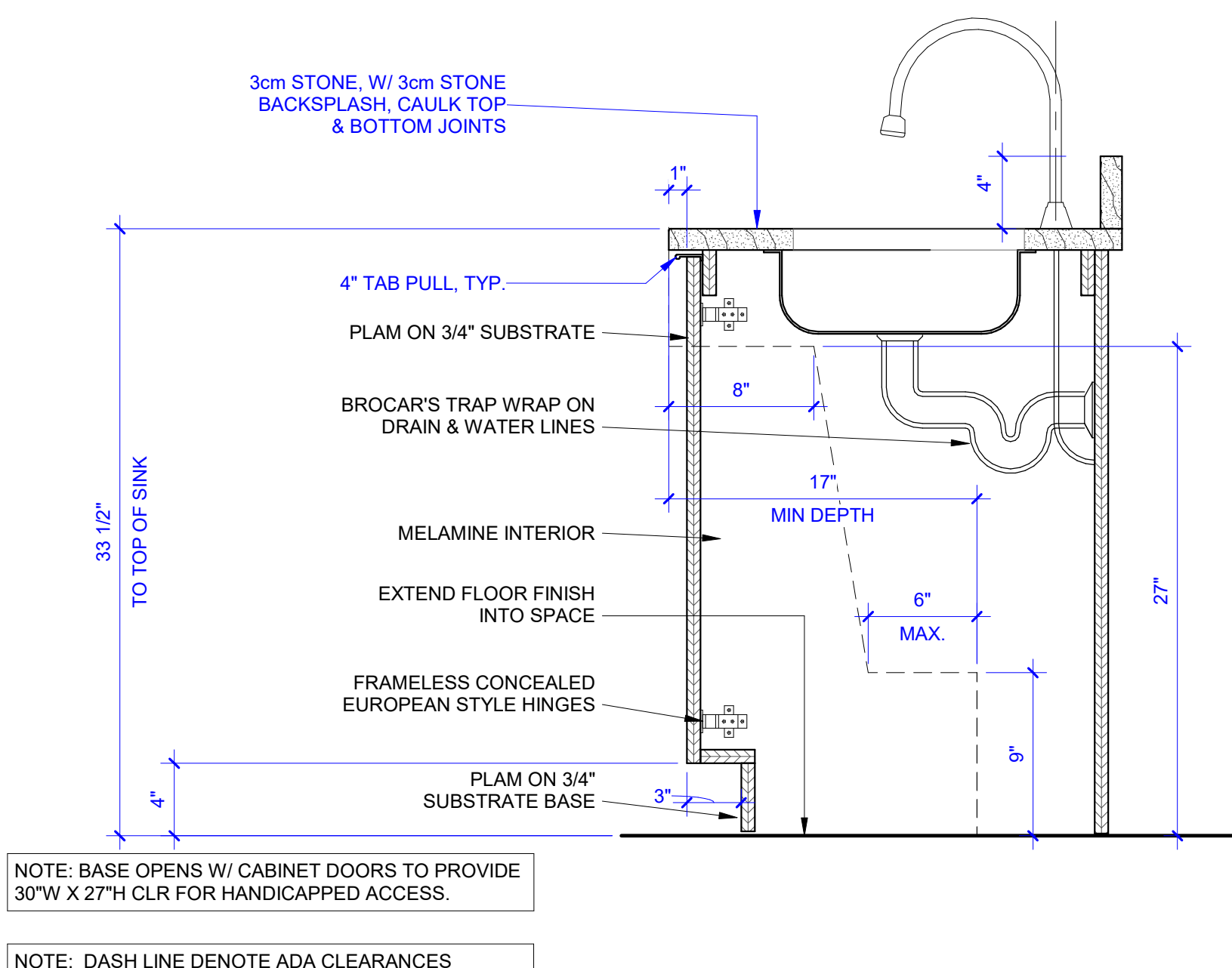
SCALE: 1 1/2" = 1'-0"



3D UPPER CABINETS W/ SOFFIT

SCALE: 1 1/2" = 1'-0"

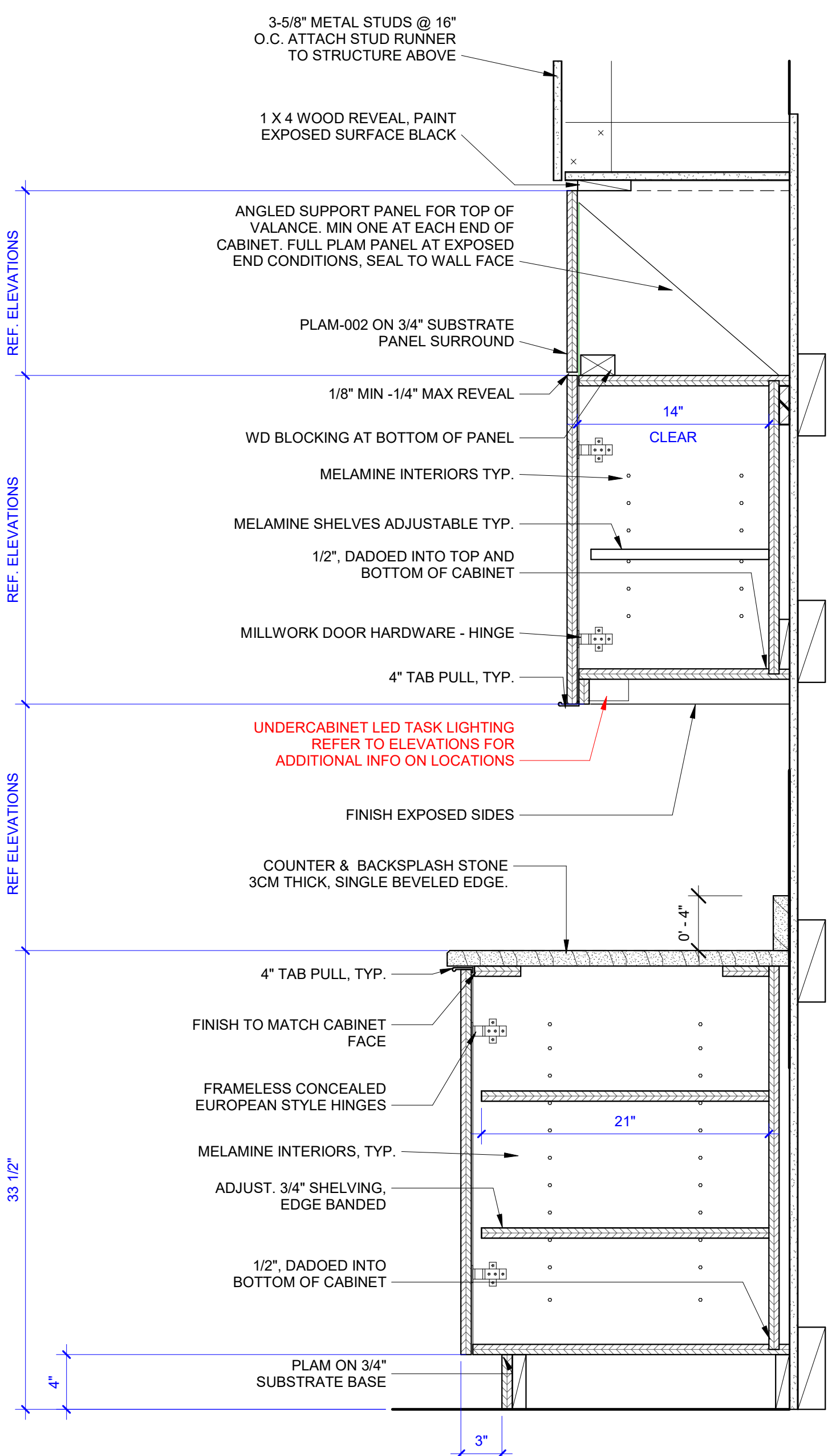
DRAWING REF: A7



2D ADA BASE SINK CABINET

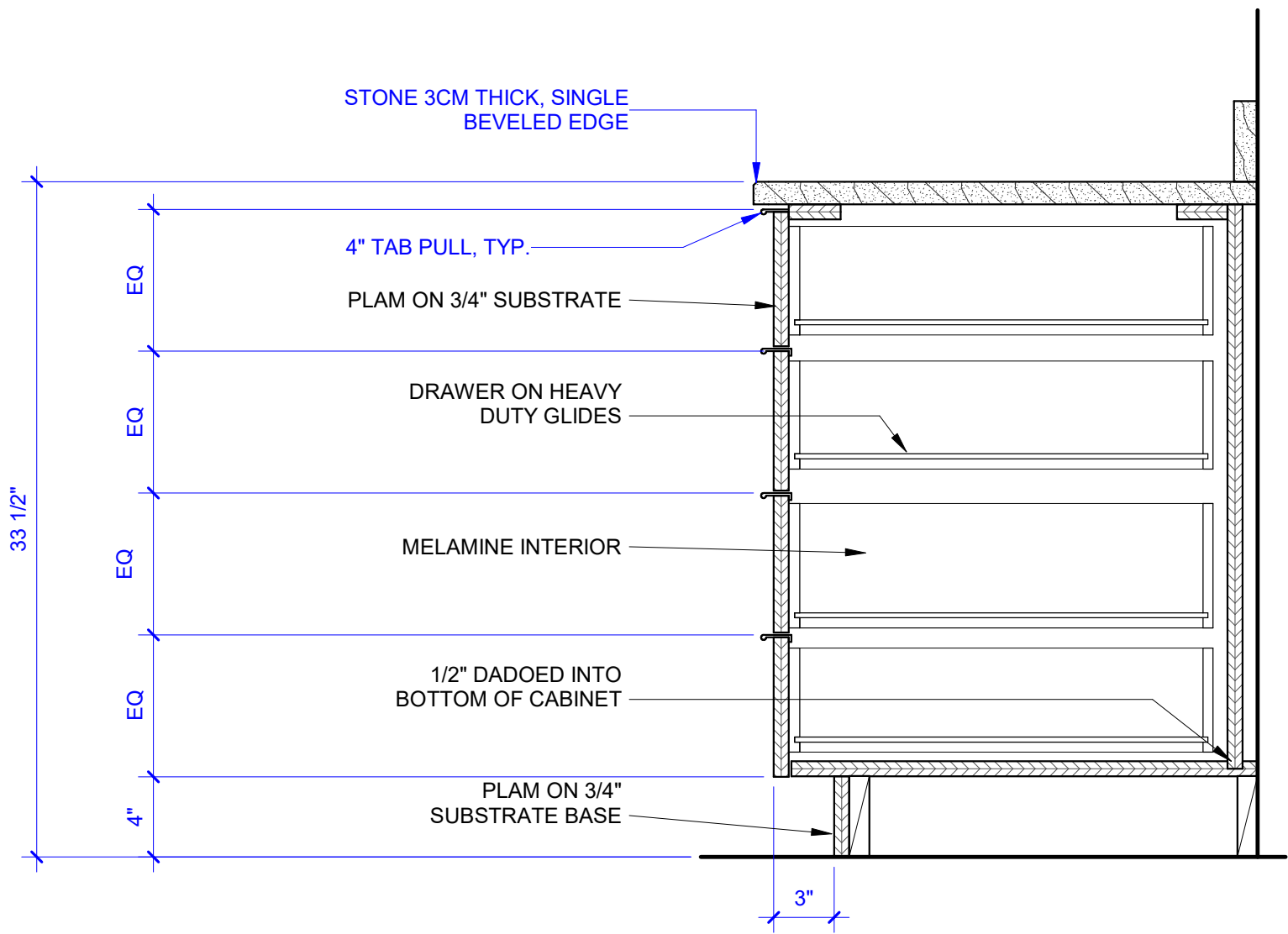
SCALE: 1 1/2" = 1'-0"

DRAWING REF: A7



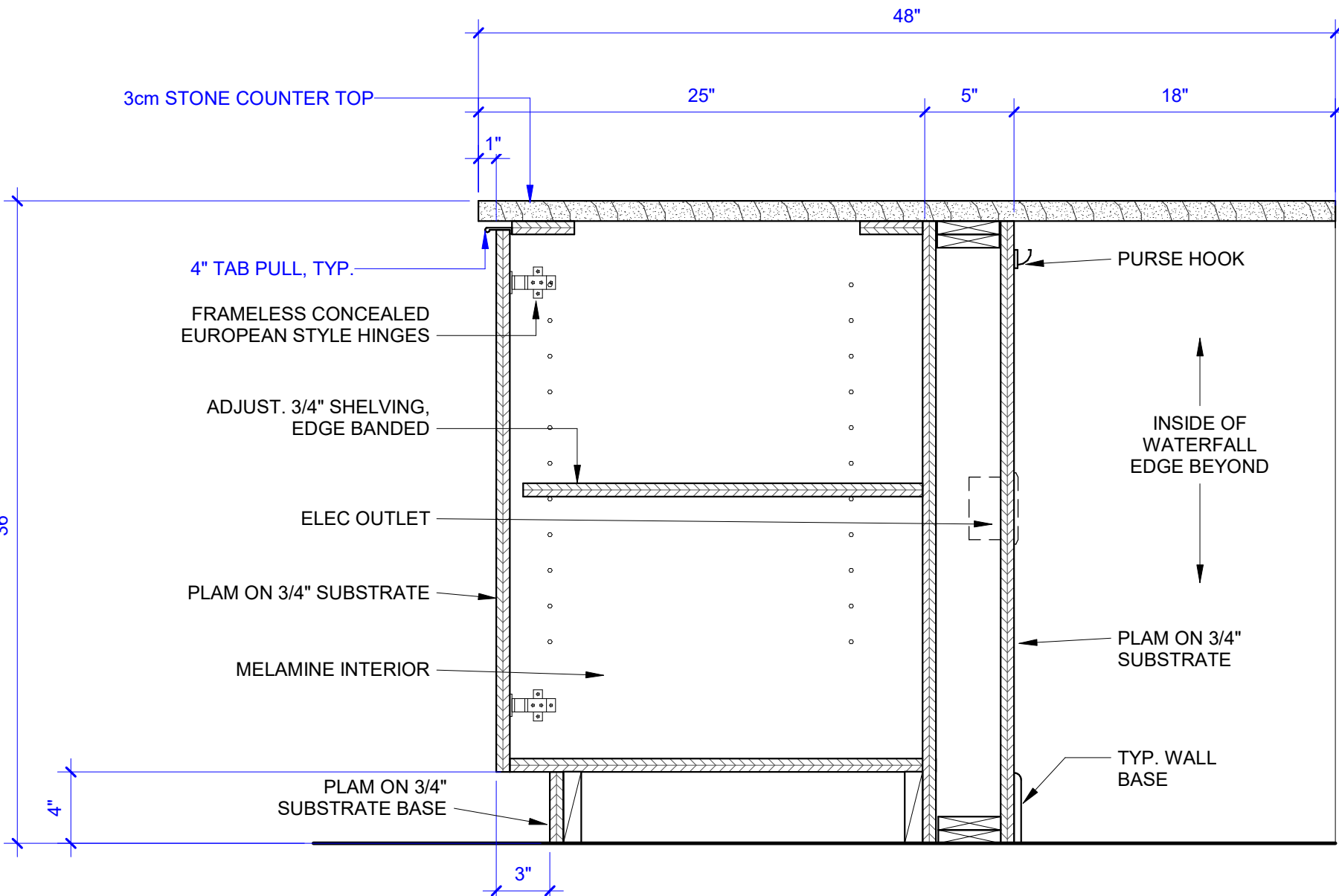
5A BASE & UPPER CABINET - BREAK ROOM

SCALE: 1 1/2" = 1'-0"



3B ADA BASE DRAWER CABINET

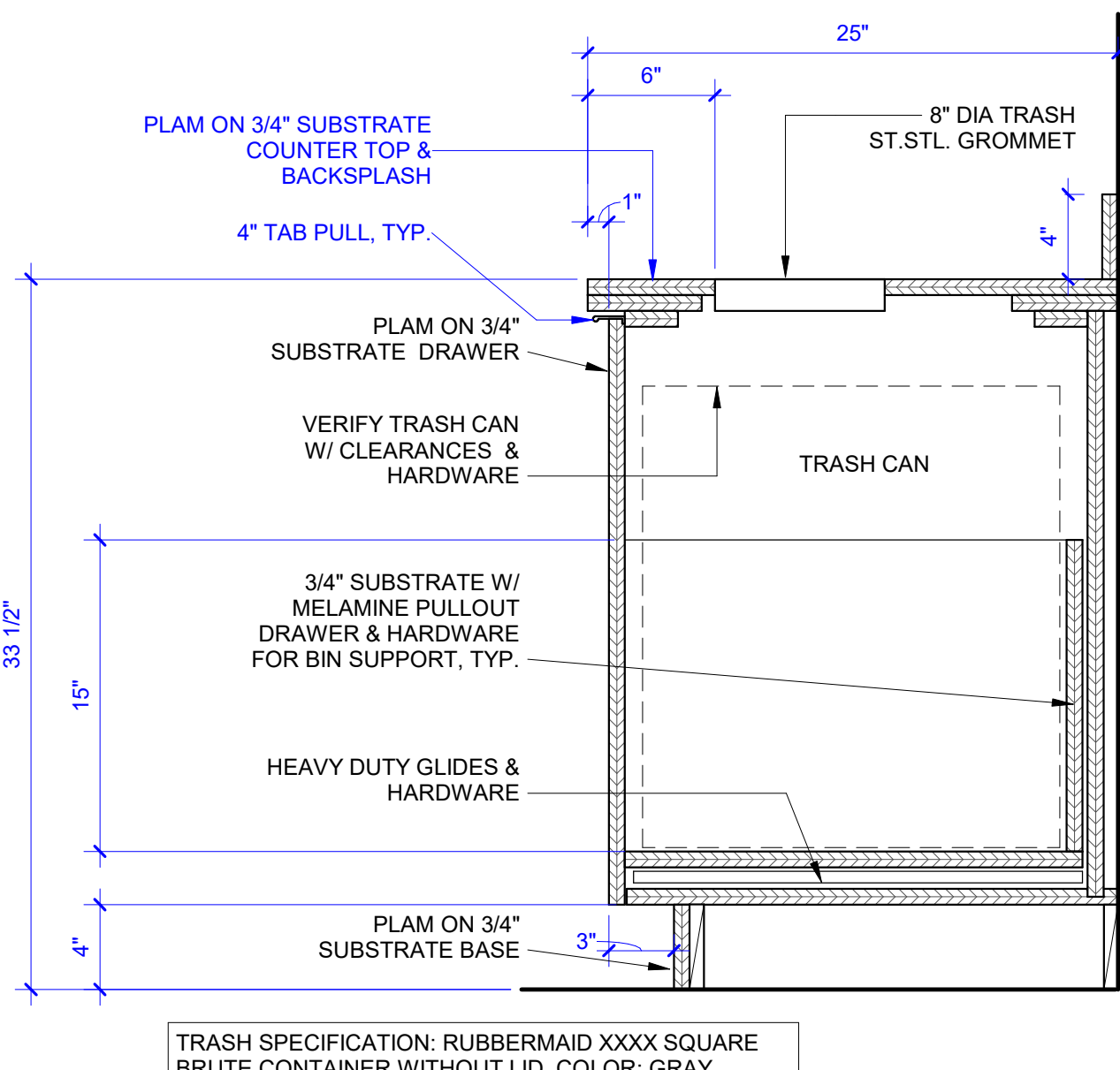
SCALE: 1 1/2" = 1'-0"



3A ISLAND - BASE CABINET

SCALE: 1 1/2" = 1'-0"

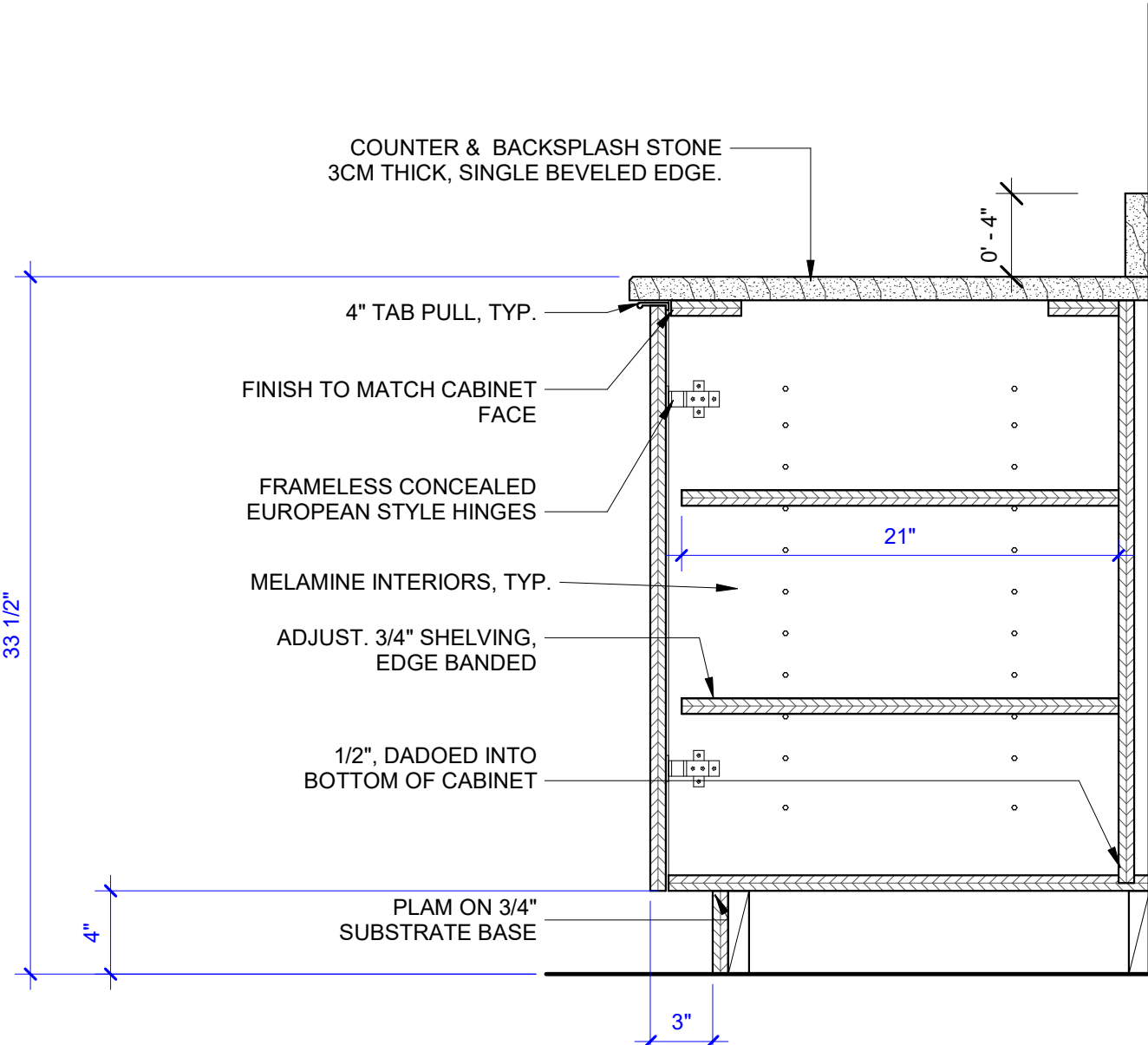
DRAWING REF: A7



2B ADA BASE CABINET W/ TRASH DRAWER

SCALE: 1 1/2" = 1'-0"

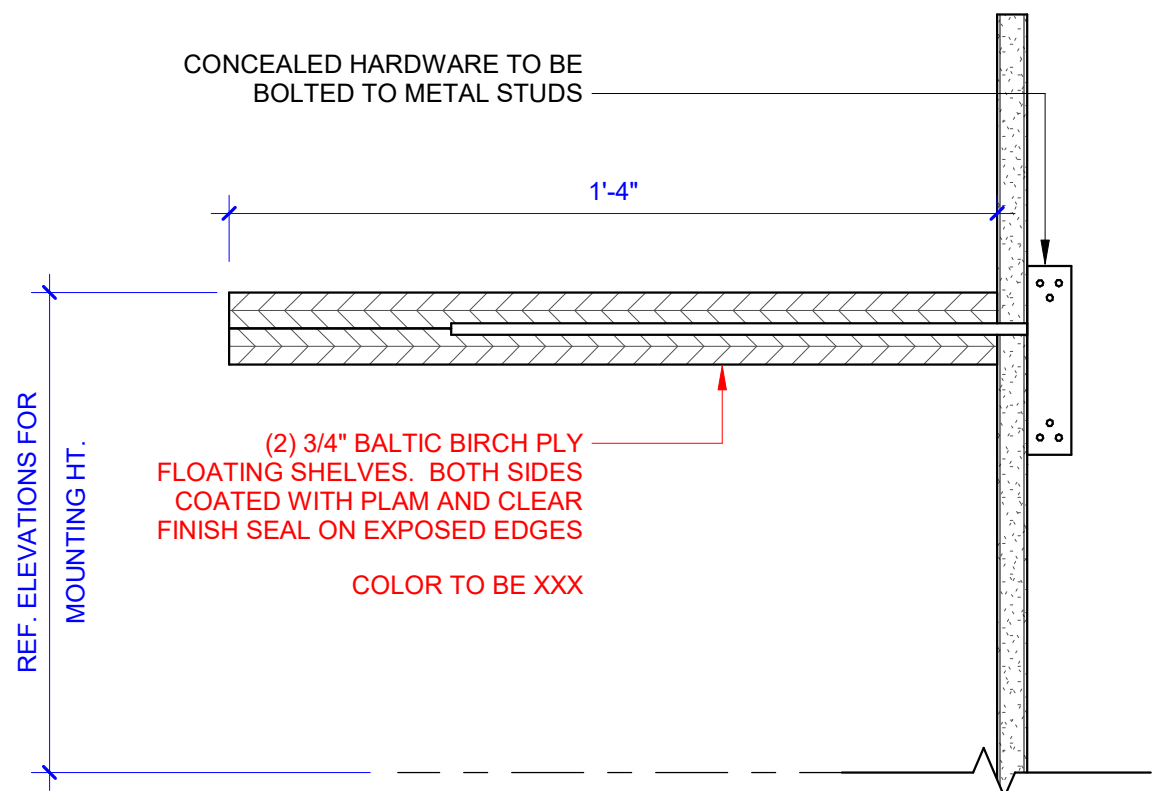
DRAWING REF: A7



2A ADA BASE CABINET

SCALE: 1 1/2" = 1'-0"

DRAWING REF: A7



6A DETAIL - FLOATING SHELF

SCALE: 3" = 1'-0"

DRAWING REF: A7

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CASEWORK DETAILS A9